



HARB

INTERACE

11 UNIT APARTMENT DEVELOPMENT

138 W. 223RD STREET, CARSON CA 90745

DOR 1862-21 & CUP 1110-21

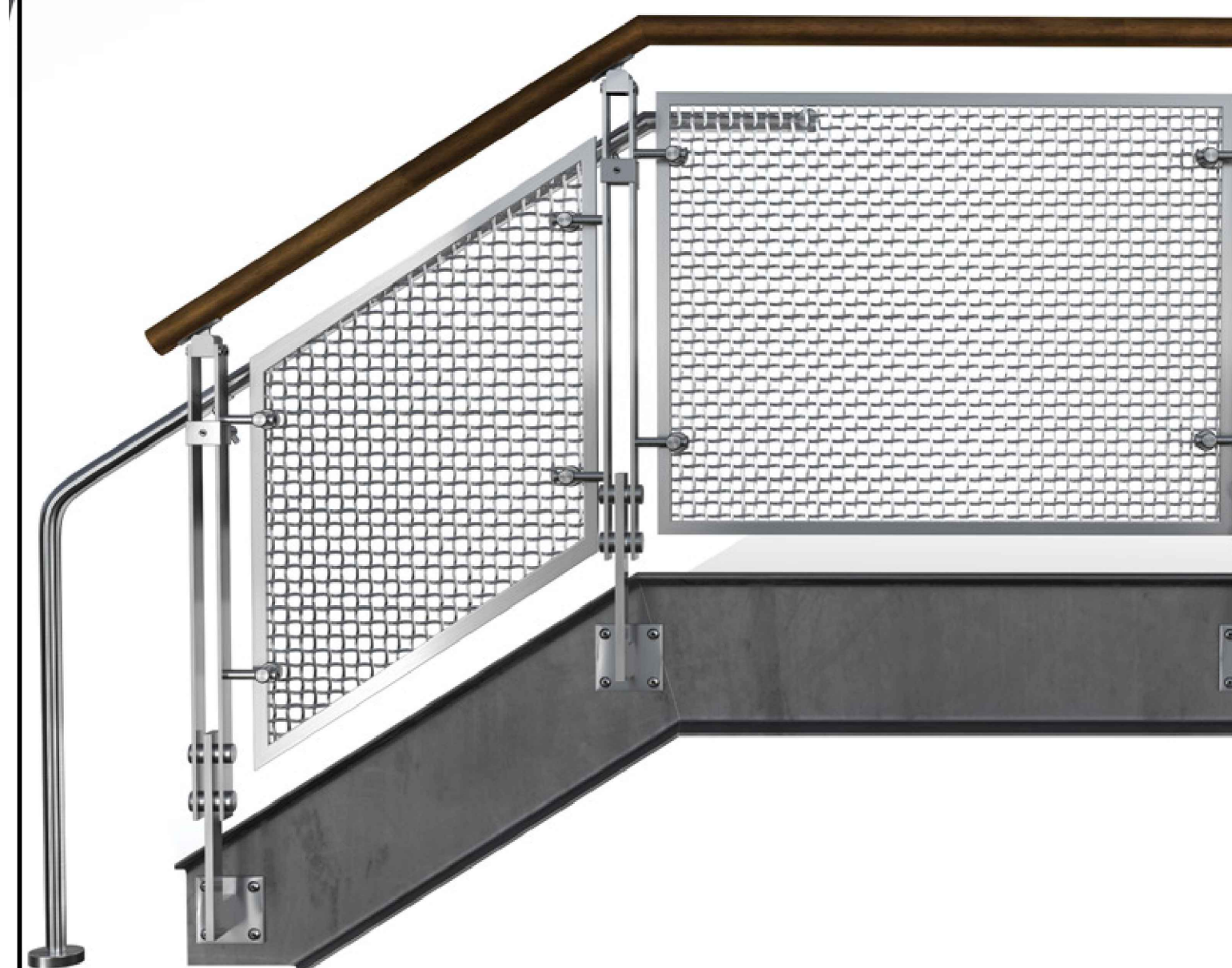
DEVELOPER:

HARB PROPERTIES, LLC

11631 GREVILLEA AVE., HAWTHORNE, CA 90250



STUCCO FINISH



BLADE™ WIRE MESH

GUARDRAIL



STUCCO FINISH



STACKED STONE



HARDI-BOARD SHIPLAP SIDING

PROJECT INFORMATION

JOB ADDRESS & A.P.N
 JOB ADDRESS: 138 W. 223RD AVE. CARSON, CA 90745
 A.P.N: 7341-014-026
ZONING DISTRICT: MULTI-FAMILY
OCCUPANCY: R-2 / U (FULLY SPRINKLER)
CONST. TYPE: V-A (S13R)
BUILD'G HEIGHT: 30'-0"
SITE AREA 85.5' X 195' = 16,672.5 SF
DENSITY
 BASE DENSITY 9 UNITS
 (16,672.5 / 1742 = 9.57 = 10)
AFFORDABLE - DENSITY BONUS
 MODERATE INCOME 5-10%
 TOTAL LOW (PROVIDED) 10% X 10 = 1 UNIT
 NUMBER OF UNITS PROVIDED 10 + 1 = 11 UNITS
 LOT COVERAGE 5,609 SF / 16672.5 = 33.6%
BUILDING SETBACKS

BUILDING	REQUIRED	PROVIDED
RESIDENTIAL		
FRONT YARD	15'	15'
SIDE YARD	10'	10'
REAR YARD	15'	30'

UNIT TABULATION

UNIT	UNITS	UNITS	UNITS	UNITS
1	2 & 3	4 & 5	6-9	10 & 11

UNIT TYPE (EFFIC.)

(EFFIC.)	(2 BDRM)	(2 BDRM)	(2 BDRM)	(2 BDRM)
1	2	2	4	2

GARAGE / UNIT

385 SF	385 SF	385 SF	386 SF	386 SF
385 SF	1097 SF	1016 SF	1016 SF	1009 SF

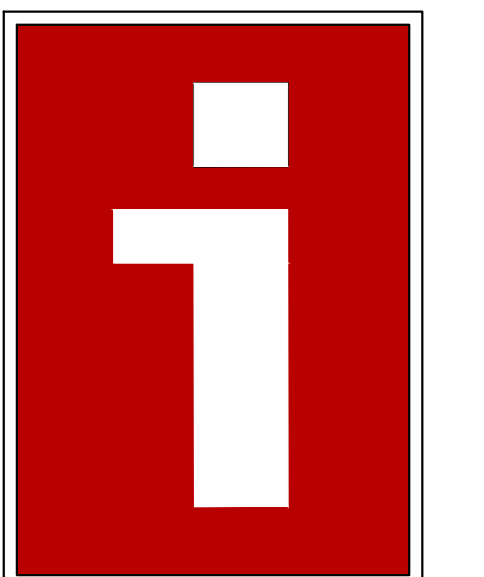
BALCONY

0	80 SF	30 SF	30 SF	80 SF
GRAND TOTAL LIV. FLOOR AREA = 10,693 S.F.				
GRAND TOTAL GAR. FLOOR AREA = 4,620 S.F.				

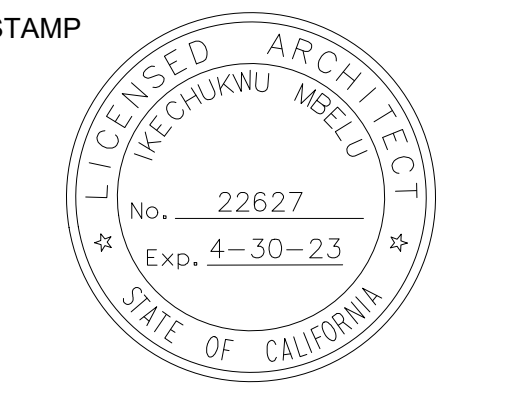
OPEN SPACE
 PRIVATE OPEN SPACE / UNIT 195 / UNIT = 2,730 SF
 COMMON OPEN SPACE 1,750 SF
 LANDSCAPE AREA 3,815 SF
 TOTAL OPEN SPACE PROPOSED 3,815 SF (23%)

PARKING TABULATION BASED ON DENSITY

ITEM	ALLOWED DENSITY	BONUS DENSITY	TOTAL
2 BEDRM UNITS	10 X 2 = 20 STALLS	5 X 0 = 0	20 STALLS
EFFICIENCY UNITS	1 X 1 = 1 STALL	0 X 0 = 0	01 STALLS
VISITORS PARKING	1/2 PER UNIT		06 STALLS
TOTAL PARKING REQUIRED			= 27 STALLS
TOTAL PARKING PROVIDED			= 28 STALLS
TOTAL LANDSCAPE AREA	3815 SF / 16672		= 23.0%



ICON & IKON, INC.
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 14823 HAWTHORNE BLVD. #306
 LAWDALE, CALIFORNIA 90260
 PH: 310-984-8748, 424-456-4811
 WWW.ICONARG.COM



OWNER / TENANT
 HARB PROPERTIES LLC
 11631 GREVILLEA AVE
 HAWTHORNE, CALIFORNIA, 90250
 PH: 310-908-7878

HARB TERRACE GARDENS
 PROPOSED 11 UNIT TOWNHOME DEVELOPMENT
 PROJECT ADDRESS: 138 W. 223RD STREET, CARSON, CA 90274

REVISIONS

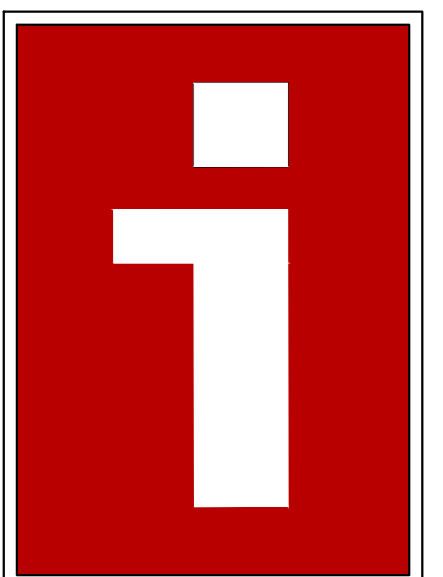
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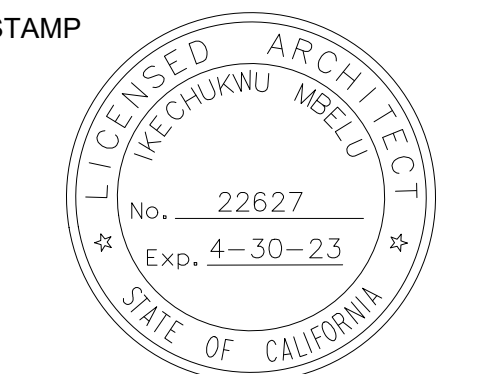
STATISTICS MATERIAL BOARD

SHEET #
A - 001

RENDERINGS



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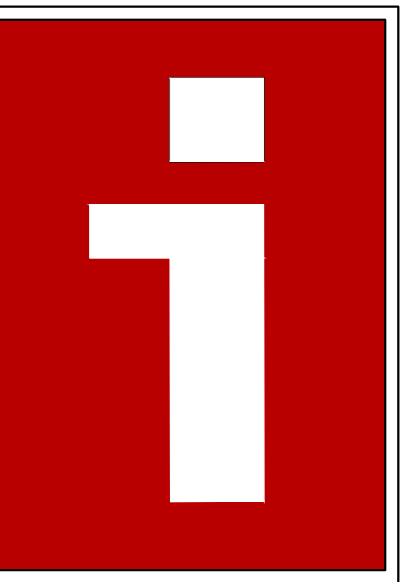
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TITLE
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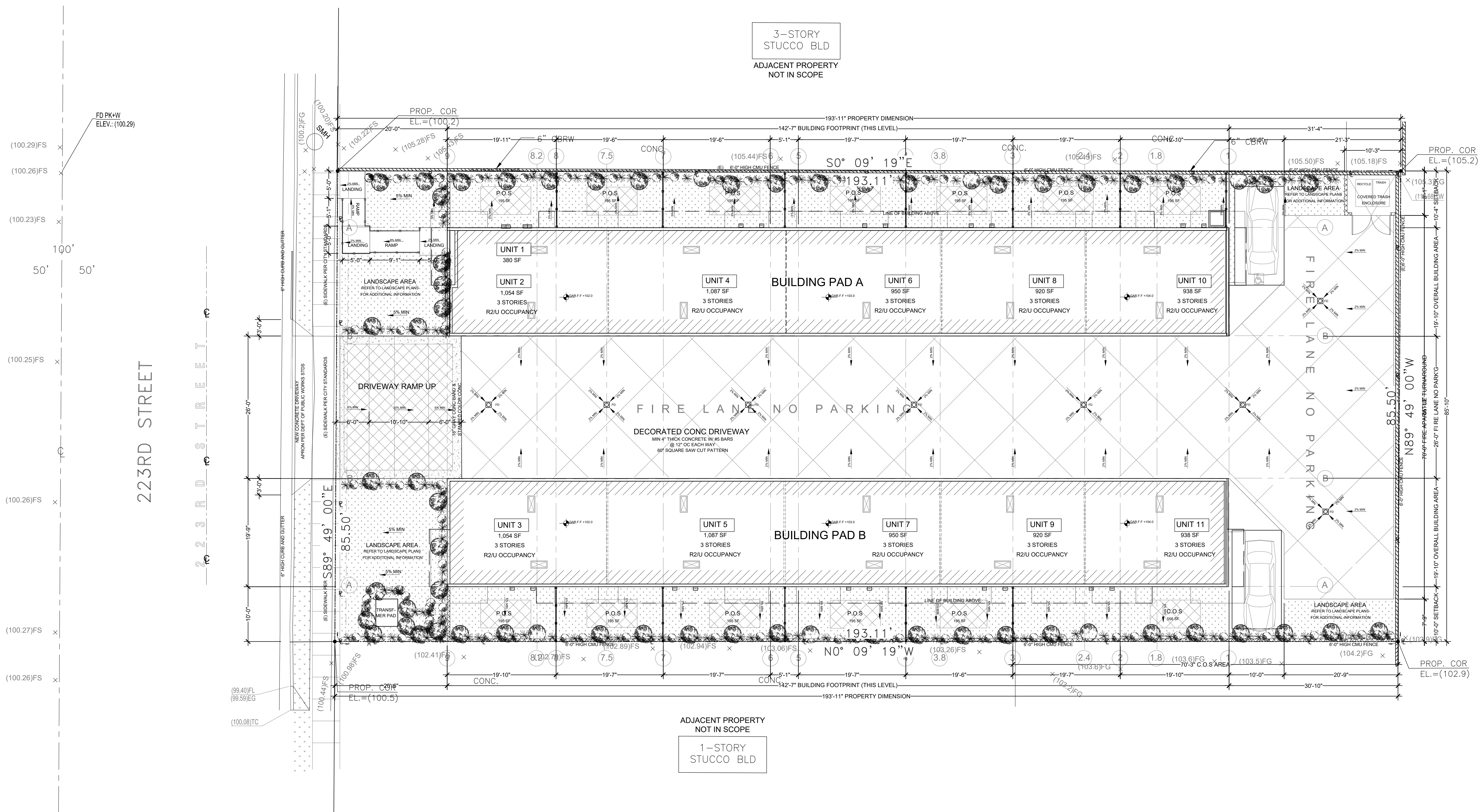
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TITLE
SITE PLAN

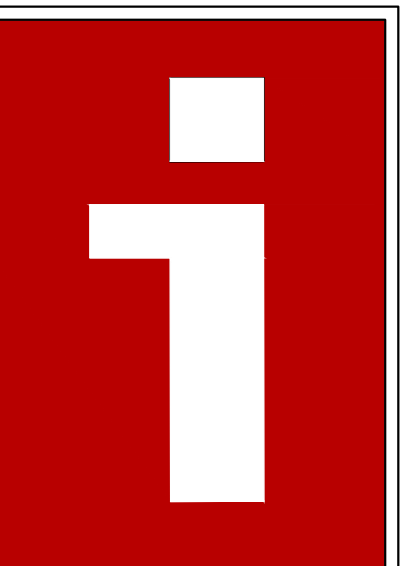
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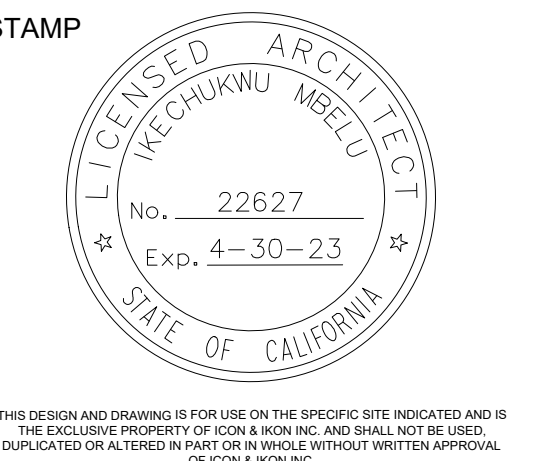


SITE PLAN / PLOT PLAN SCALE 3/16"=1'-0" 1

DEMOLITION NOTES	DEMOLITION NOTES	SITE PLAN NOTES	SITE PLAN NOTES	SYMBOL NOTES	SITE PLAN SYMBOLS
<p>DEMOLITION REQUIREMENTS:</p> <p>H. UNLESS OTHERWISE INDICATED ON THE DRAWING, REMOVE TREES, SHRUBS, GRASS, OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES PRUNING OF STAMPS AND ROOTS. DEBRIS FROM CUTTING, CLEANING AND GRUBBING OPERATIONS ARE TO BE FILLED TO SUBGRADE ELEVATION TO AVOID WATER POOLING. SATISFACTORY FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 12" TO 18" LOOSE DEPTH, AND THOROUGHLY COMPACTED PER FILL REQUIREMENTS.</p> <p>I. REMOVE GRASS, TREES, PLANT LIFE, STUMPS AND ALL OTHER CONSTRUCTION DEBRIS FROM THE SITE TO A DUMP SITE THAT IS SUITABLE FOR HANDLING SUCH MATERIAL ACCORDING TO STATE LAWS AND REGULATIONS.</p> <p>ASBESTOS REPORT:</p> <p>A. PROVIDE ASBESTOS REPORT TO CITY PRIOR TO DEMOLISHING PERMIT BEING ISSUED.</p>	<p>DEMOLITION REQUIREMENTS:</p> <p>A. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES OR PAVEMENTS.</p> <p>B. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION. DO NOT RESUME OPERATIONS UNTIL DIRECTED.</p> <p>C. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN ACCESS AND EGRESS AT ALL TIMES.</p> <p>D. OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON OR LIMIT ACCESS TO THEIR PROPERTY.</p> <p>E. SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.</p> <p>F. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.</p> <p>G. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DIRT, OIL, AND DEBRIS CAUSED BY DEMO. OPERATIONS RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.</p> <p>PROTECTION:</p> <p>A. LOCATE AND IDENTIFY EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.</p> <p>B. PROTECT TREES, PLANT GROWTH AND FEATURES DESIGNATED TO REMAIN AS FINAL LANDSCAPE.</p> <p>C. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS AND FACILITIES. MAINTAIN ACCESS AND EGRESS AT ALL TIMES AND CLEAN OR SWEEP ANY ROADWAYS DAILY OR AS REQUIRED BY THE GOVERNING AUTHORITY. AT SUCH TIMES AS DEEMED NECESSARY BY THE OWNER, DUST CONTROL SHALL BE PROVIDED WITH SPRINKLING SYSTEMS OR EQUIPMENT PROVIDED BY THE CONTRACTOR.</p> <p>D. PROTECT BENCH MARKS, PROPERTY CORNERS AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR OBSCUREMENT. IF A MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY A LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY THE SAME.</p> <p>E. PROVIDE TRAFFIC CONTROL AS REQUIRED. IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNITIFORM TRAFFIC CONTROL DEVICES AND THE STATE HIGHWAY DEPARTMENT PROCEDURES.</p> <p>F. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND DEMOLITION OF WORK.</p> <p>G. CLEARINGS TO BE PERFORMED IN ACCORDANCE WITH SOLS REPORT.</p>	<p>REGULATORY REQUIREMENTS:</p> <p>A. CONFORM TO APPLICABLE LOCAL CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, AND RUNOFF CONTROL.</p> <p>B. OBTAIN REQUIRED PERMITS AND LICENSES FROM AUTHORITIES. PAY ASSOCIATED FEES INCLUDING DISPOSAL CHARGES.</p> <p>C. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.</p> <p>D. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PERMITS.</p> <p>E. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.</p> <p>F. INFORM OWNER AND CITY IMMEDIATELY IF BURIED TANKS ARE ENCOUNTERED.</p> <p>JOB CONDITIONS:</p> <p>A. STRUCTURES TO BE DEMOLISHED SHALL BE DISCONTINUED IN USE AND VACATED PRIOR TO START OF WORK.</p> <p>B. OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF STRUCTURES TO BE DEMOLISHED.</p> <p>C. CONDITIONS EXISTING AT TIME OF INSPECTION FOR REMEDIATION PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATING.</p> <p>D. EXPLOSIVES SHALL NOT BE BROUGHT TO SITE OR USED WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. SUCH WRITTEN CONSENT WILL NOT RELIEVE CONTRACTOR OF TOTAL RESPONSIBILITY FOR INJURY TO PERSONS OR FOR DAMAGE TO PROPERTY DUE TO BLASTING SHALL COMPLY WITH GOVERNING REGULATIONS.</p> <p>PREPARATION:</p> <p>A. PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.</p> <p>B. PRESENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.</p> <p>C. MARK LOCATION OF UTILITIES, PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION THE UTILITIES TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.</p>	<p>#10. FINISH GRADE AROUND THE STRUCTURE / ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MIN OF 5% (2%) FOR IMPERVIOUS SURFACES FOR A MIN DISTANCE OF 10'-0".</p> <p>GREEN BUILDING NOTES:</p> <p>LANDSCAPE MATERIAL SHALL HAVE MINIMAL SOLAR REFLECTANCE OF AT LEAST 0.30</p> <p>LANDSCAPE MATERIAL SHALL BE ENCOLORED CONCRETE WITH SMOOTH CEMENT FINISH.</p> <p>NOTES:</p> <p>CONSTRUCTION WASTE SHALL BE REDUCED BY 65% AND HAULED BY A CERTIFIED CITY OF LOS ANGELES TRUCKER.</p> <p>FOR PROJECTS THAT INCLUDE LANDSCAPING WORK, THE LANDSCAPE CERTIFICATION FORM GRN-12 SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND APPROVAL.</p> <p>NOTES:</p> <p>LOTS SHALL BE GRADING TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MIN FALL OF 4" IN WITH IN THE FIRST 10 FEET (3003).</p> <p>NOTES:</p> <p>VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4</p> <p>NOTES:</p> <p>BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</p> <p>NOTES:</p> <p>PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R07.1 BY USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.</p> <p>NOTES:</p> <p>PROTECT ANTI-GRAFFITI FINISH WITHIN THE FIRST 3 FEET MEASURED FROM GRADE AT WALLS AND DOORS EXCEPT MAINTENANCE OF THE BUILDING AFFIDAVIT IS REQUIRED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED. (8936)</p>	<p>ALL WORK DONE ON PUBLIC RIGHT-OF-WAY SHALL BE DONE PER CITY PUBLIC WORKS STANDARDS.</p> <p>ALL UTILITIES ELECTRICAL, GAS, WATER, TELEPHONE AND CABLE TELEVISION TO BE UNDERGROUND. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES.</p> <p>CONTACT THE ALBERT PRIOR TO ANY EXCAVATION OR TRENCHING. 1-800-422-4133</p> <p>PUBLIC WORKS REQUIREMENTS</p> <p>A CONSTRUCTION AND EXCAVATION PERMIT (C&E PERMIT) IS REQUIRED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT, ENGINEERING PERMITS AND RECORDS DIVISION, FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.</p>	<p>1 WATER METER</p> <p>2 GAS METER</p> <p>3 200 AMP 120/208V SINGLE PHASE ELECTRIC METER WITH UNDERGROUND SERVICE.</p> <p>4 WEATHER OR SOL BASED AUTOMATIC IRRIGATION CONTROLLER.</p> <p>5 AREA OF PROPOSED BUILDING</p> <p>6 NEW CONCRETE WITH SMOOTH CEMENT FINISH</p> <p>7 LANDSCAPE AREA. ALL PLANTER AREAS SHALL BE INSTALLED WITH MIN 4" THICK MULCH AND DROUGHT TOLERANT PLANTS AND GROUND COVER.</p> <p>8 CMU WALL 6" HOT AT FL</p> <p>9 6" HIGH WOOD FENCE / GATE</p> <p>10 4" X 4" WIDE COLORED CONC WALKWAY</p> <p>11 2' X 2' X 4" CMU TRASH ENCLOSURE</p> <p>12 NEW CONC DRIVEWAY APRON PER P.W. STD.</p> <p>13 EXISTING CONC SIDEWALK FROD PER P.W. RECOMMENDATION STD.</p> <p>14 CUSTOM 5'-0" HIGH X 42" WIDE WROUGHT IRON GATE AS APPROVED BY ARCH.</p> <p>15 6" THICK STAMPED COLORED CONC OF 4" CRUSH BASE AT DRIVEWAY.</p> <p>16 AREA OF PROPOSED STREET DESIGNATION</p> <p>17 COMMON RECREATION AREAS WITH TOT LOT BENCHES</p>

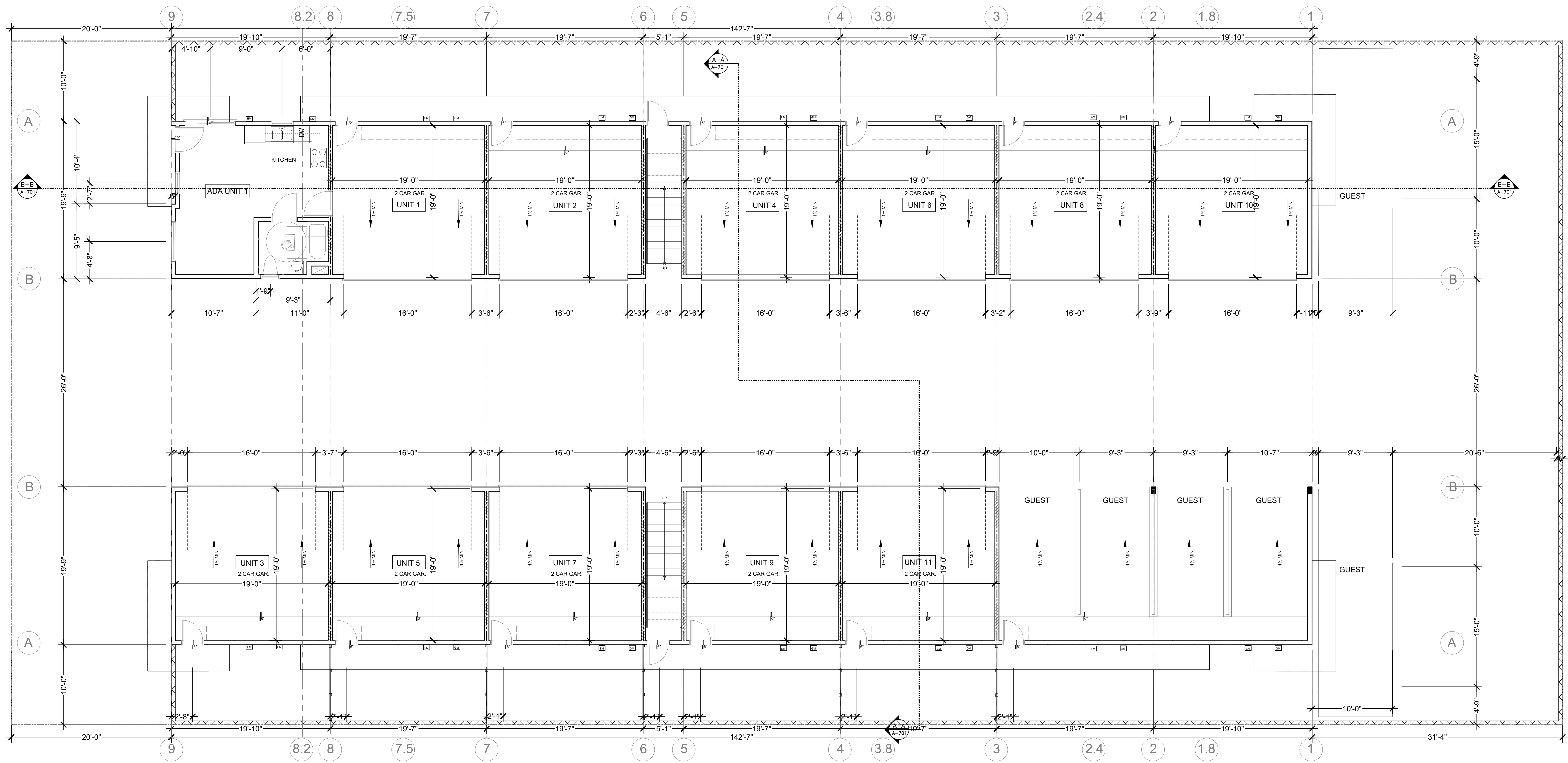


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FIRST FLOOR PLAN DIMENSIONS SCALE 3/16"=1'-0" 1

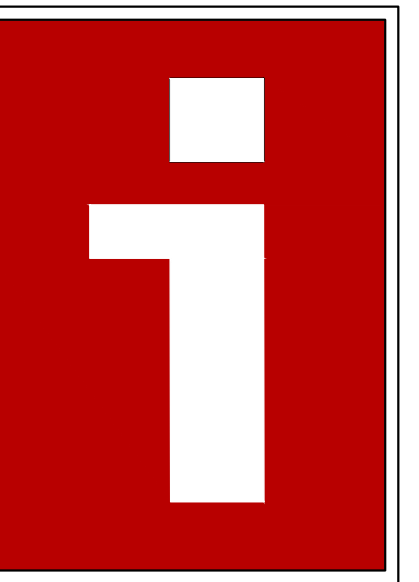
WALL SYMBOL LEGEND

	1 HR FIRE-RATED PARTY / UNIT SEPARATION WALL WITH 1/2" STUDS @ 16" O.C. STAGGERED ON AN 8" DILL PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1/2" TYPE 'X' GYPSUM WALL BOARD AT 1 SIDE AND MIN 7/8" RESILIENT CHANNEL AND 1/2" TYPE 'X' GYPSUM WALL AT OPPOSITE SIDE.
	3 1/4" EXTERIOR STRUCTURAL WALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
	2" X 4" PLUMBING WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT WET AREA SIDE OF WALL. INSTALL WITH MIN R-15 BATT INSULATION.
	2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
	EXTERIOR FURRING PER EXTERIOR ELEVATIONS.

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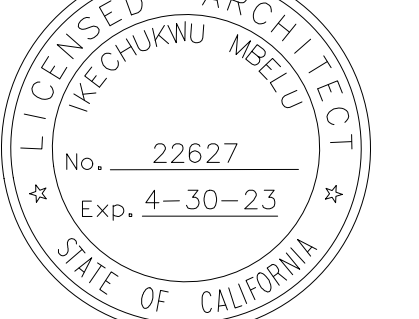
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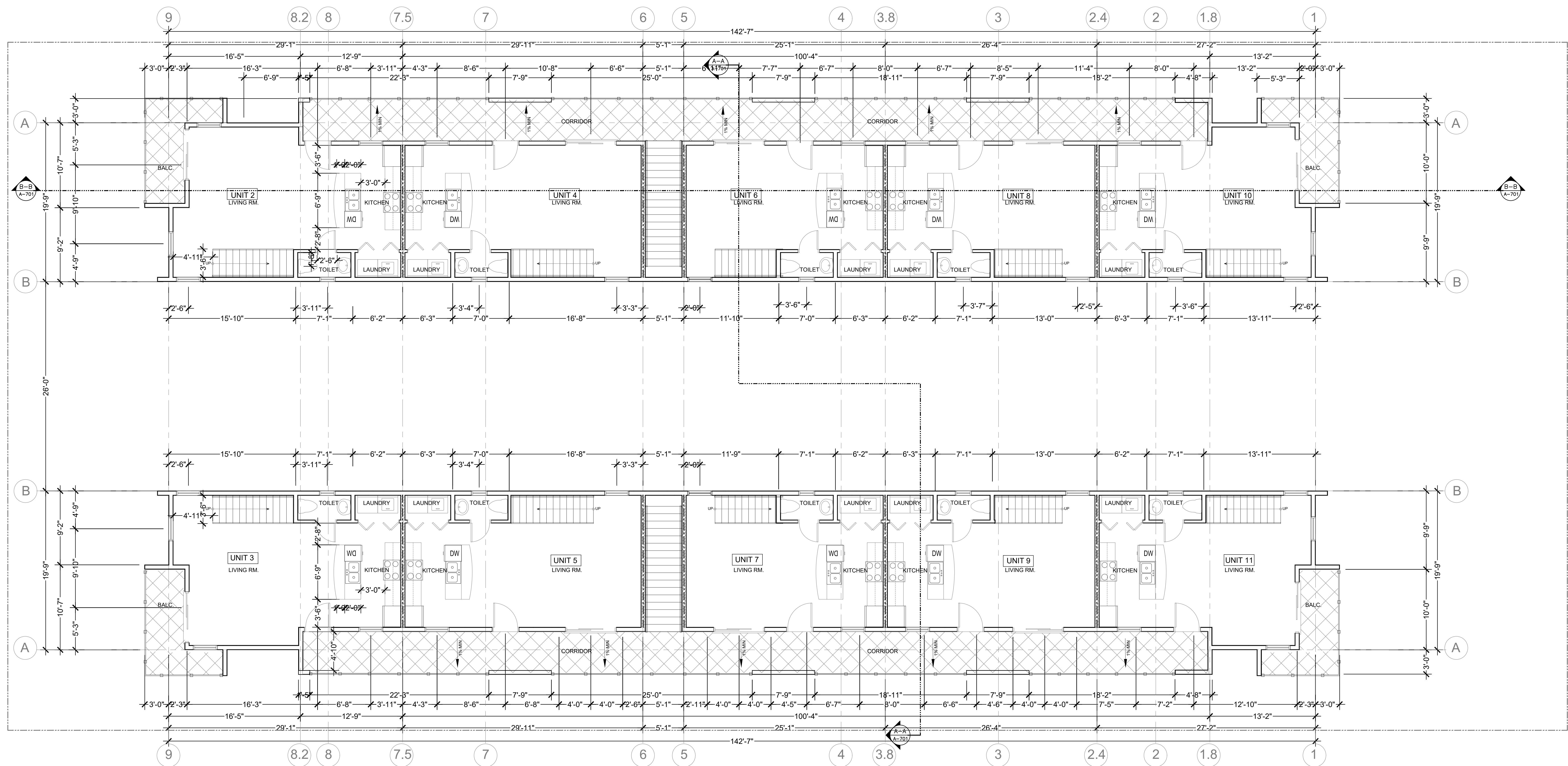
STAMP



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SECOND FLOOR PLAN DIMENSIONS SCALE 3/16"=1'-0" 1

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- 2 X 6 EXTERIOR STUD WALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 1/2" PORTLAND CEMENT STUCCO AT EXTERIOR WIRE MESH OVER TYVEX BUILDING WRAP OVER PLYWOOD SHEETING.
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- 2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
- EXTERIOR FINISHES PER EXTERIOR ELEVATIONS.

PROJECT TITLE

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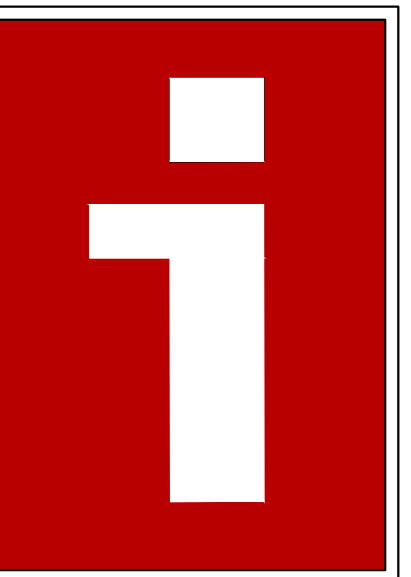
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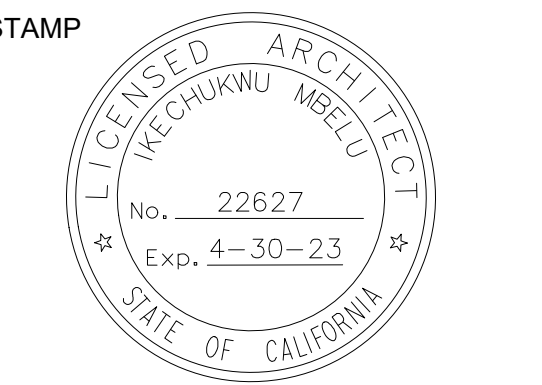
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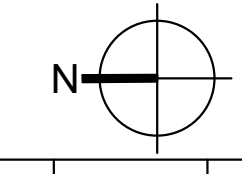
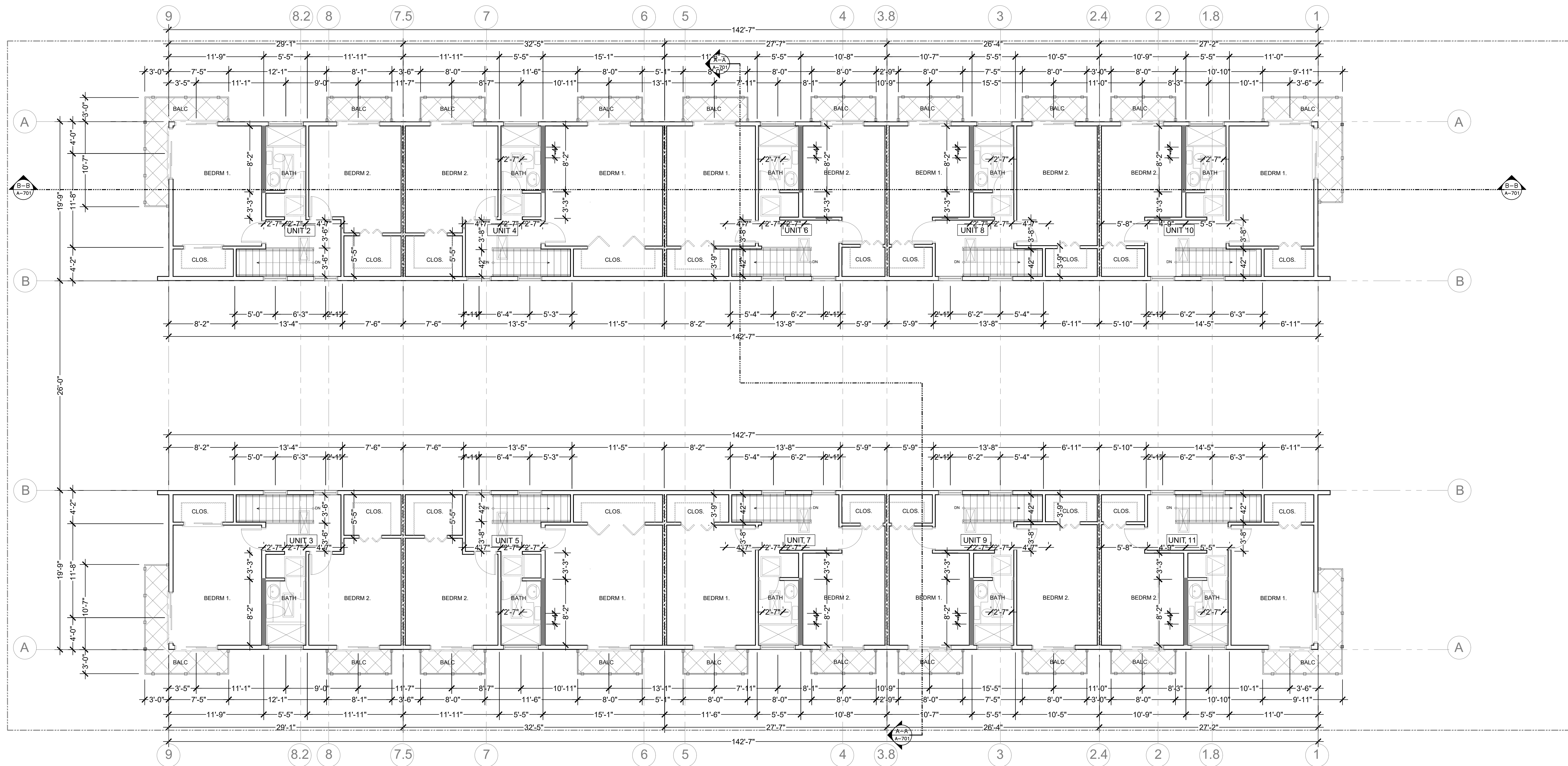


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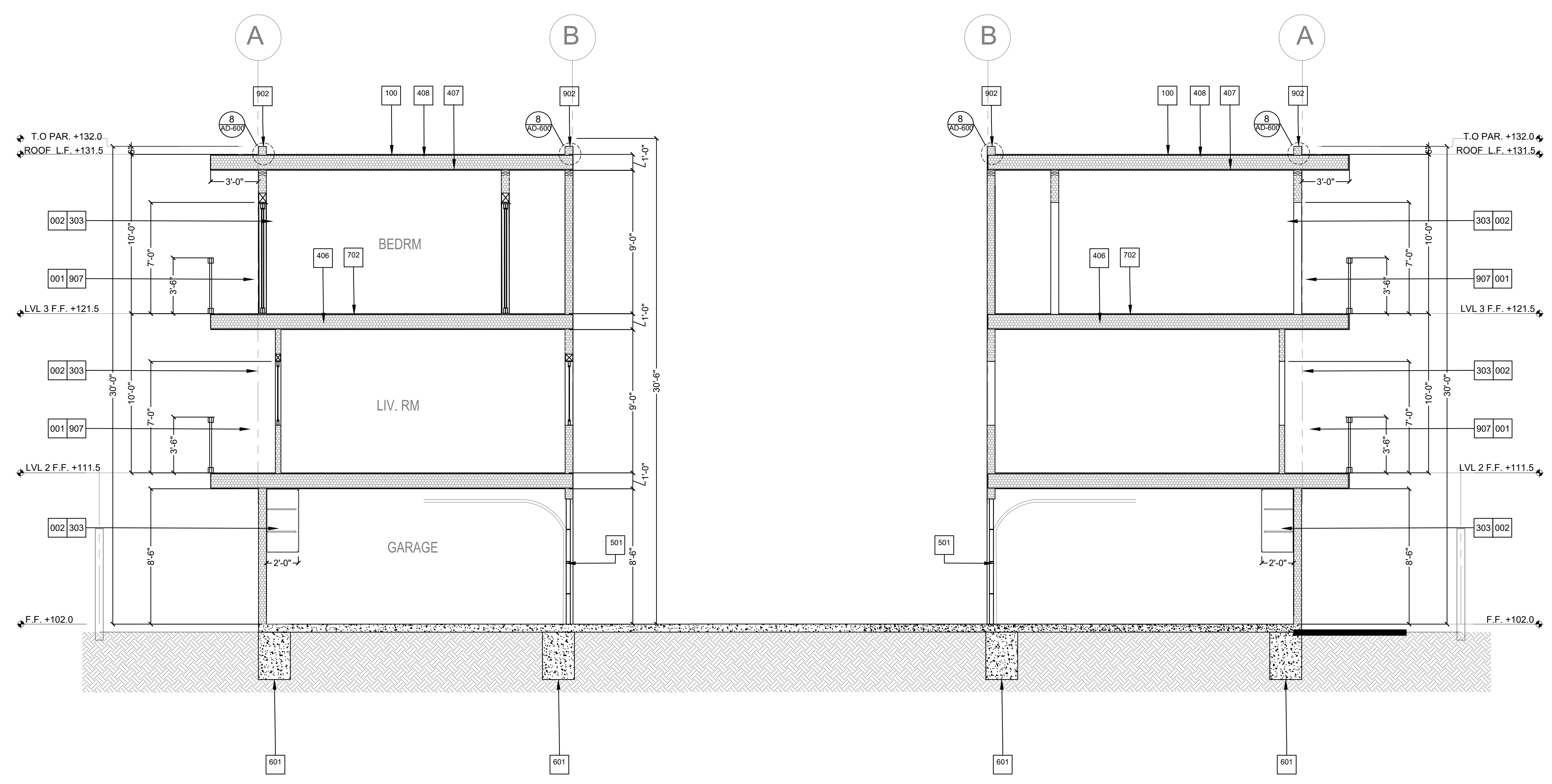
WALL SYMBOL LEGEND

- 1 HR FIRE RATED PARTY / UNIT SEPARATION WALL WITH 3/4" STUDS @ 16" O.C. STAGGERED ON AN 8" DILL PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1/2" GYPSUM WALL BOARD AT 1 SIDE AND MIN 5/8" RESILIENT CHANNEL AND 1/2" GYPSUM WALL AT OPPOSITE SIDE.
- 2 X 6 EXTERIOR STUD WALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
- 2" X 6" PLUMBING WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT WET AREA SIDE OF WALL. INSTALL WITH MIN R-15 BATT INSULATION.
- 2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
- EXTERIOR FURRING PER EXTERIOR ELEVATIONS.

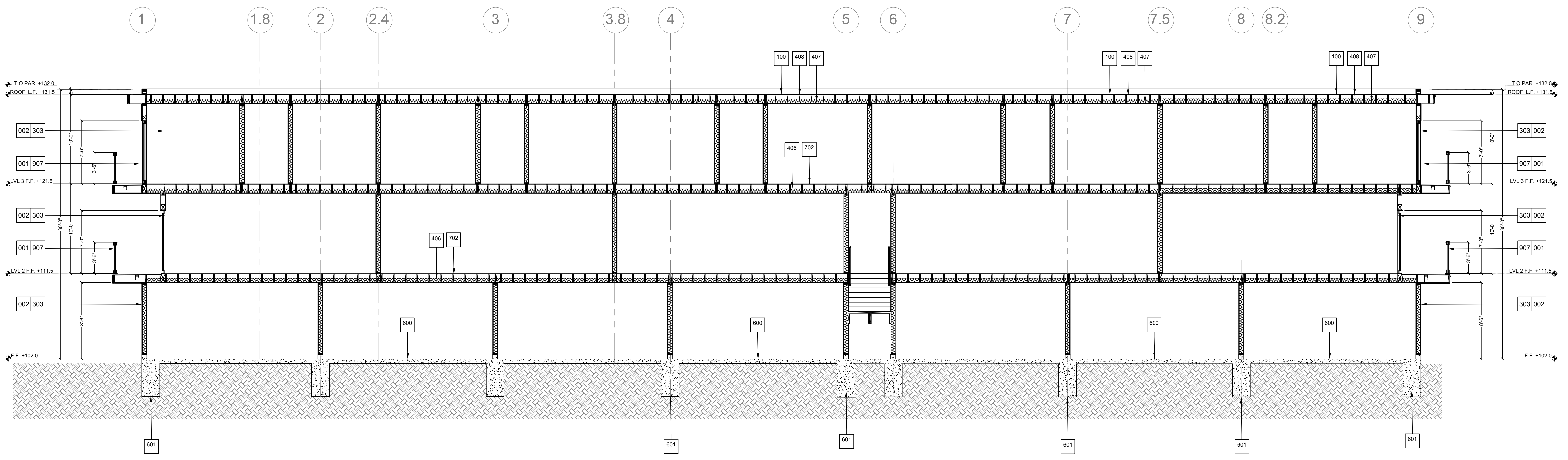
PROJECT TITLE

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PERMIT NO: DOR1862-21 CUP1110-21
TITLE
THIRD FLOOR PLANS
SHEET #
A - 303
NO. OF 100

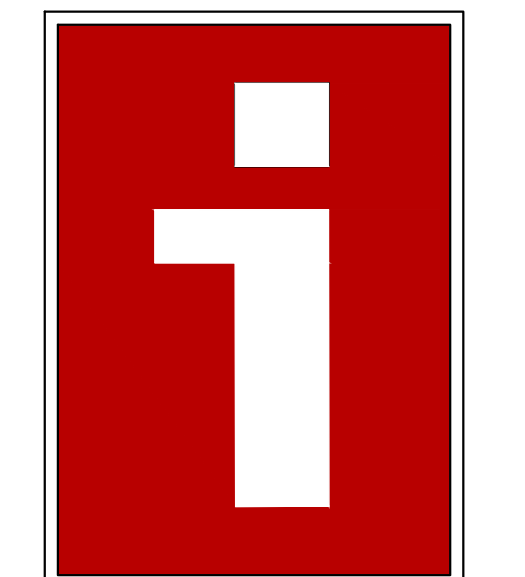


SECTION A SCALE 1/4"=1'-0" A

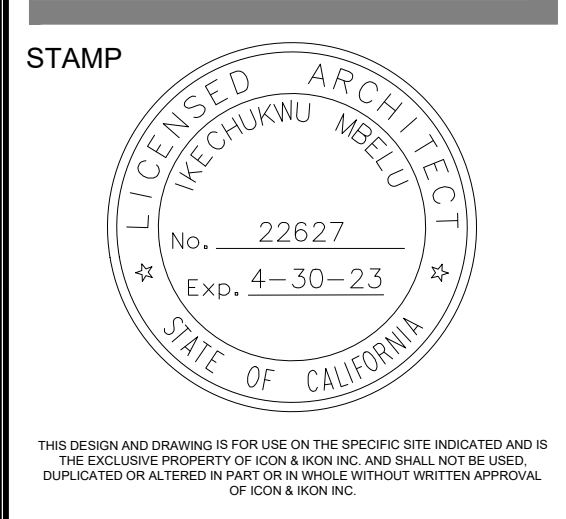


SECTION B SCALE 1/8"=1'-0" B

BUILDING SECTION KEY NOTES	
SYM	DESCRIPTION
ROOFING	
100	CLASS "F" BUILT-UP COMPOSITION ROOFING OVER TWO LAYERS 30# FELT PAPER.
101	CLASS "F" 3 DIMENSIONAL ASPHALT SHINGLE (ARCHITECT OR BETTER) BY GAF OR 50# FELT PAPER.
102	LIGHT-WEIGHT EAGLE-LITE S-SHAPED CONCRETE ROOF TILE ON 30# FELT PAPER INSTALLED PER MANUF. SPEC.
103	22 GAUGE CORRUGATED METAL PAN ROOFING ON TYVEK OR PLYWOOD.
FASCIA	
200	2X FASCIA BOARD INSTALLED WITH MIN 3 HOT DIPPED GALVANIZED 16# NAILS @ EACH JOIST.
201	1" X HARD-BOARD FASCIA.
FINISHES	
300	INTERIOR WALL FINISH - 5/8" THICK TYPE X GYPSUM BOARD.
301	INTERIOR WALL FINISH - 5/8" THICK GYPSUM BOARD (GREEN BOARD).
302	INTERIOR WALL FINISH - PORCELAIN TILE AS SELECTED BY ARCHITECT.
303	EXTERIOR WALL FINISH - THREE COAT STUCCO CEMENT 7/8" MIN THICK WITH 200# FINISH MESH OVER WEATHER RESISTANT TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING PER STRUCTURAL DRAWINGS. STUCCO COLOR COAT TO BE SEL. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
304	EXTERIOR WALL FINISH - 4" X 8" HARD-BRAND SHIP LAP FIBER CEMENT SIDING INSTALLED OVER TYVEK POLY-BRAND BUILDING PAPER OVER PLYWOOD SHEETING PER STRUCTURAL DRAWINGS.
305	EXTERIOR WALL FINISH - 2" X 8" EDG(TONE MATERIAL) OR BROWN SCRATCH STUCCO FINISH INSTALLED PER MANUF. SPEC.
306	EXTERIOR WALL FINISH - 24" X 48" PORCELAIN TILE OR BROWN SCRATCH STUCCO FINISH INSTALLED PER MANUF. SPEC.
307	EXTERIOR WALL FINISH - 7/8" BRICK VENEER OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
308	EXTERIOR WALL FINISH - MOUNTAIN BLEND STACKED STONE BY EL DORADO OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
MEMBERS	
400	DOUBLE 2" X 4" TOP PLATE.
401	2 X WALL WITH STUDS @ MIN 16" O.C. INSTALL ON PRESSURE TREATED SILL PLATE.
402	PRESSURE TREATED SILL PLATE PER STRUCTURAL DRAWINGS OR PER STRUCTURAL SHEAR WALL SCHEDULE.
403	EXTERIOR PLYWOOD SHEETING PER STRUCTURAL DRAWINGS.
404	BEAM TO PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
405	HEADER PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
406	FLOOR JOIST PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
407	ROOF RAFTER (CL. JOIST PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
408	MIN 1/2" PLYWOOD ROOF SHEETING PER STRUCTURAL DRAWINGS.
DOOR / WINDOW SYSTEMS	
500	WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
501	DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
502	2" X 4" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
503	14" X 30" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
504	8" DIA. SOLAR TUBE SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
CONCRETE	
600	CONCRETE SLAB / FOUNDATION PER STRUCTURAL DRAWINGS. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
601	CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
INSULATION	
700	EXT. WALLS - R-10 BATT INSULATION PER TITLE 24 ENERGY COMPLIANCE FORMS.
701	INT. WALLS - R-13 BATT INSULATION PER TITLE 24 ENERGY COMPLIANCE FORMS.
702	RAISED FLOOR - R-10 BATT INSULATION PER TITLE 24 ENERGY COMPLIANCE FORMS.
703	ROOF - R-30 BATT INSULATION PER TITLE 24 ENERGY COMPLIANCE FORMS.
FINISH FLOOR	
800	EXT. DECK - DEK-0 TEX FINISH PER MANUF. SPEC. ICC-ES E-1087.
801	INT. FLOOR - PORCELAIN TILE ON LIGHT WEIGHT CONC. PER MANUF. SPEC.
802	INT. FLOOR - RIGID CORE VINYL 6 MM THICK 8" X 48" VINYL TILE ON POLYETHYLENE ACOUSTIC PAD ON PLYWOOD OR CONC. PER MANUF. SPEC. (ARMSTRONG FLOORING OR EQUAL).
803	INT. FLOOR - OAK OR ENGINEERED WOOD FLOORING TILE ON POLYETHYLENE ACOUSTIC PAD ON PLYWOOD OR CONC. PER MANUF. SPEC.
MISCELLANEOUS	
900	ROOF MOUNTED A/C UNIT - PROVIDE GAS VALVE AND LIGHT SWITCH. 11,200V RECEPTACLE. MINIMUM 30" W PLYWOOD WORKING PLATFORM AND PASSAGEWAY PER 2019 I.C.C.
901	ROOF ACCESS WITH LADDER.
902	PARAPET WALL WITH 22 GAUGE METAL CAP.
903	2 X REDWOOD TRELLIS @ 12" O.C. PAINT FINISH.
904	12" SQ. DORMER ATTIC VENT INSTALLED PER MANUF. SPEC.
905	VAULTED ROOF - LINEAR ROOF VENT INSTALL PER MANUF. SPEC.



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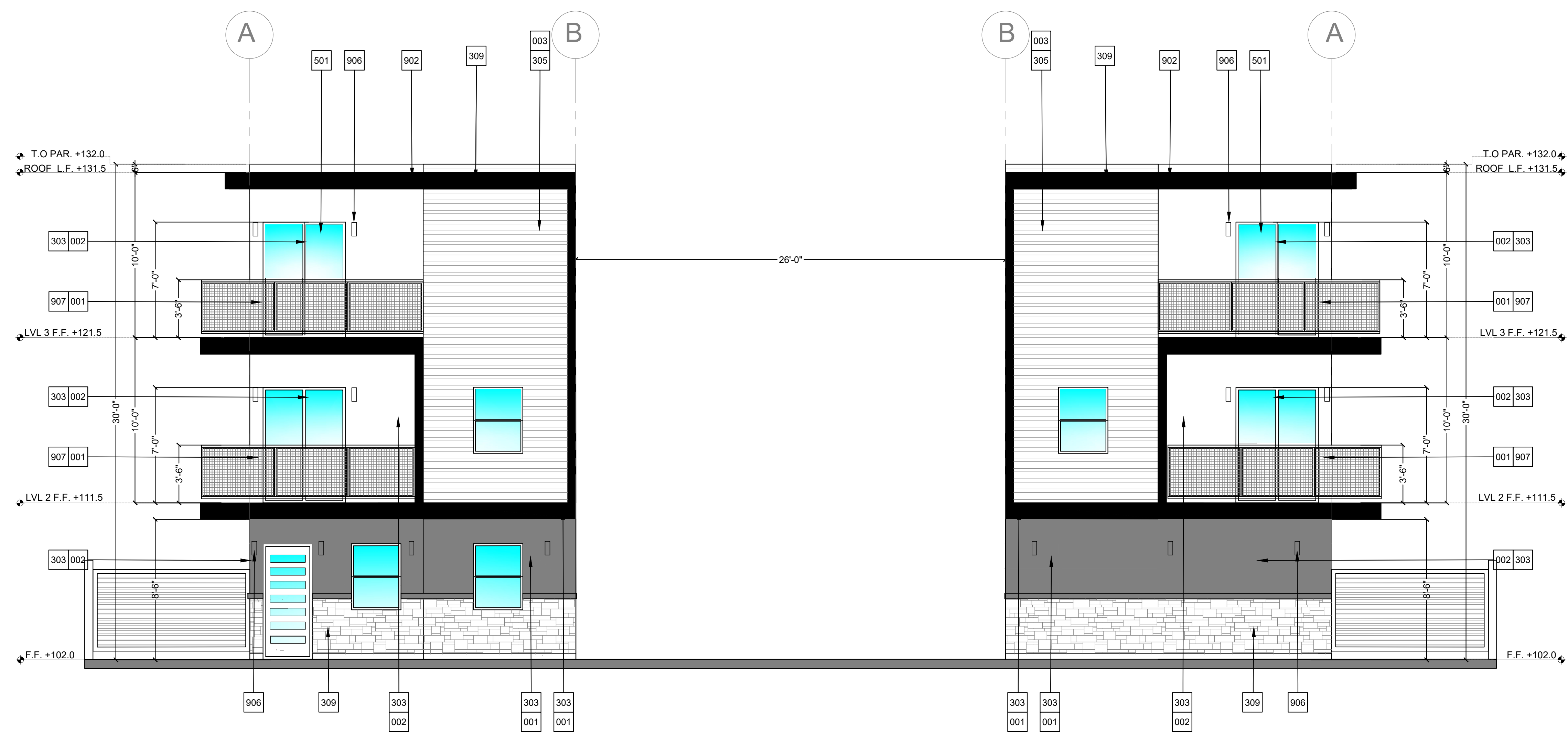
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 PH: 310-908-7878

HARB TERRACE GARDENS
 PROPOSED 11 UNIT TOWNHOME DEVELOPMENT
 PROJECT TITLE

138 W. 223 RD STREET
 CARSON, CA 90274
 PROJECT ADDRESS

REVISIONS		
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NORTH ELEVATIONS

SCALE
1/4"=1'-0"

1

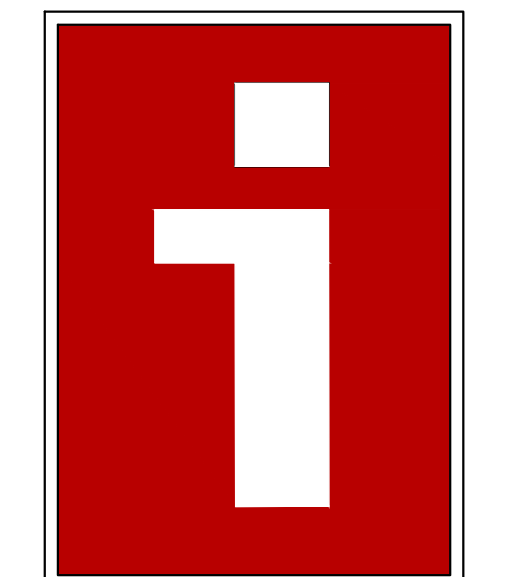


EAST & WEST (REVERSE) ELEVATIONS

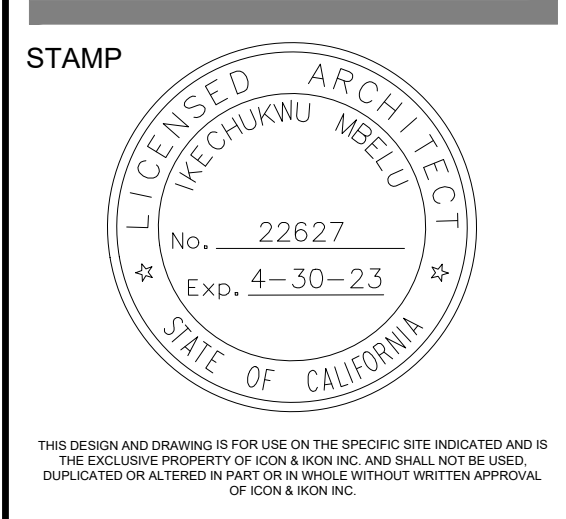
SCALE
3/16"=1'-0"

4

ELEVATION KEY NOTES	
SYM.	DESCRIPTION
	ROOFING
101	CLASS "B" 3-DIMENSIONAL ASPHALT SHINGLE (ARCHITECT OR BETTER) BY GAF @ 3/8" FELT PAPER
102	LIGHT-WEIGHT EAGLE-LITE S-SHAPED CONCRETE ROOF TILE @ 3/8" FELT PAPER INSTALLED PER MANUF. SPEC.
103	22 GAUGE CORRUGATED METAL PAN ROOFING @ TYVEK @ PLYWOOD
200	FASCIA
201	2X FASCIA BOARD INSTALLED WITH MIN 3 HOT DIP GALVANIZED 16 MILS @ EACH JOIST.
202	1" X HARD-BOARD FASCIA
300	FINISHES
301	EXTERIOR WALL FINISH - THREE COAT STUCCO CEMENT "1/8" MIN THICK WITH 20/50 FRESH. INSTALLED OVER WIRE MESH OVER TYVEK WATERPROOF BUILDING WRAP OVER PLYWOOD SHEETING PER STRUCTURAL PLANS. STUCCO COLOR COAT TO BE SEL. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
302	EXTERIOR WALL FINISH - 1/2" X 3/8" EQUITONE (MATERIAL) @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
303	EXTERIOR WALL FINISH - 3/4" X 3/4" PORCELAIN TILE @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
304	EXTERIOR WALL FINISH - 1/4" BRICK VENEER OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
305	EXTERIOR WALL FINISH - MOUNTAIN BLEND STACKED STONE BY EL DORADO OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
306	STUCCO OR PANEL KEEP SCHEDULE @ 4" MIN ABOVE FINISH GRADE.
307	22 GAUGE CORRUGATED METAL PAN @ TYVEK @ PLYWOOD
308	DOOR - WINDOW SYSTEMS
309	WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
310	DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
311	2" X 4" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
312	4" X 6" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
313	CONCRETE
314	CONCRETE SLAB - FOUNDATION PER STRUCTURAL DRAWINGS. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
315	CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
316	MISCELLANEOUS
317	FLOOR MOUNTED A/C UNIT - PROVIDE GAS VALVE AND LIGHT SWITCH, 110-220V RECEPTACLE.
318	WALL MOUNT ROOF ACCESS LADDER
319	PARAPET WALL WITH 22 GAUGE METAL CAP
320	2 X REDWOOD TRELLIS @ 12" O.C. (PAINT FINISH)
321	12" SQ. DOME ATTIC VENT INSTALLED PER MANUF. SPEC.
322	VAULTED ROOF - LINEAR ROOF VENT INSTALL PER MANUF. SPEC.
323	EXTERIOR LIGHTING - ARCHITECTURAL, DECORATIVE STYLE WALL PACK EXTERIOR LIGHTING. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
324	GUARDRAIL - THROUGH BOW METAL GUARDRAIL INSTALLED AT 42" HIGH MAX W/ 3/8 THK X 1.25" FLAT (HORIZ.) W/ BALUSTERS @ 4" OC MAX.
325	GUARDRAIL - SOLID LOW WALL - 42" HIGH SOLID GUARDRAIL W/ SMOOTH STUCCO FINISH
326	ROOF DRAIN - SCUPPER/LADDER 2 X 4 METAL (PAINT TO MATCH WALL)
327	ARCHITECTURAL TREATMENT - ARCHITECTURAL PROJECTIONS - SEE FLR & ELEV. PLAN
328	ARCHITECTURAL RELIEF - FURRED WALL - SEE FLR & ELEV. PLAN
329	EXTERIOR COLORS / FINISHES
330	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7045 - THUNDER GREY - EGGSHELL OR SEMI-GLOSS.
331	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7010 - WHITE DUCK - EGGSHELL OR SEMI-GLOSS.
332	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7021 - MEDIA DENSE - EGGSHELL OR SEMI-GLOSS.
333	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7005 - PURE WHITE - EGGSHELL OR SEMI-GLOSS.
334	LARGE FORMAT TILES.



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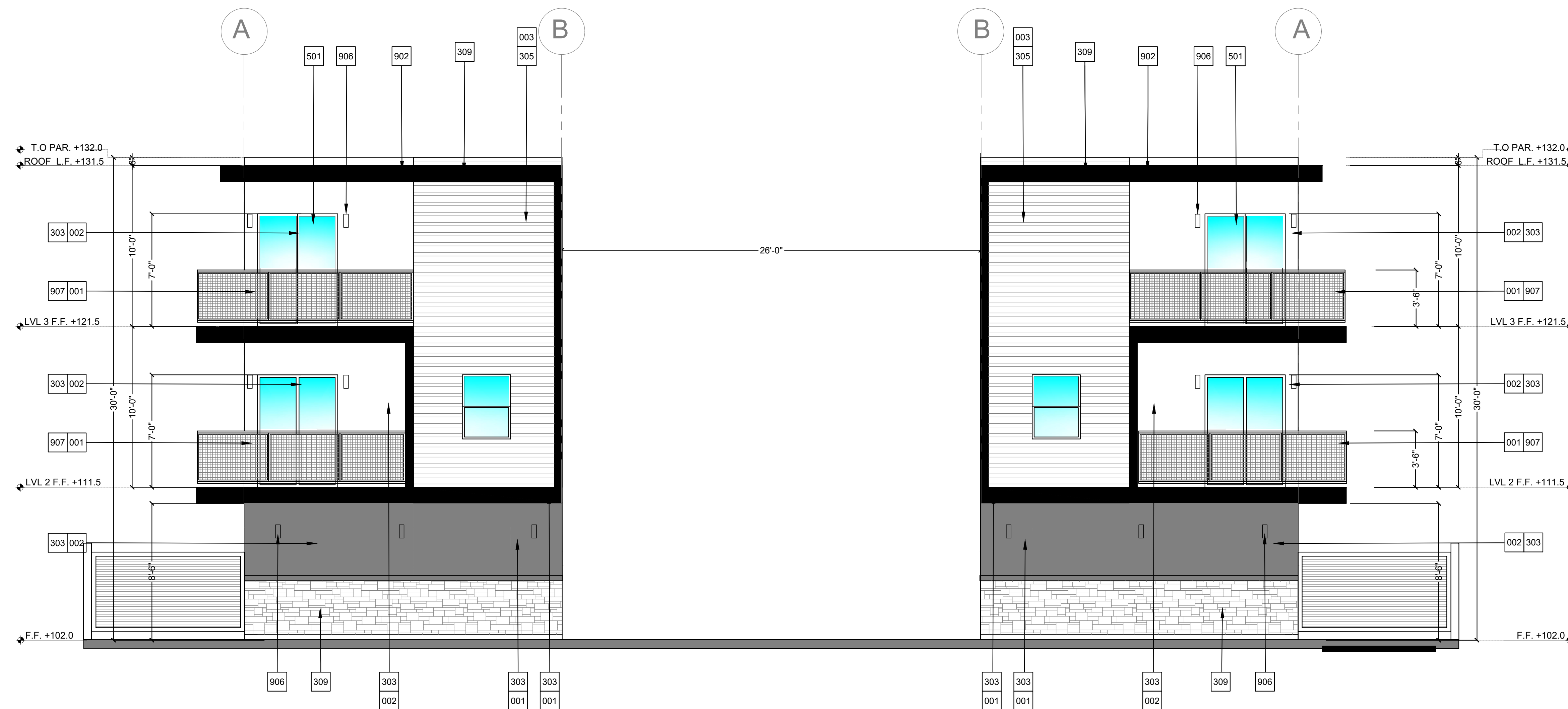
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TITLE
ELEVATIONS

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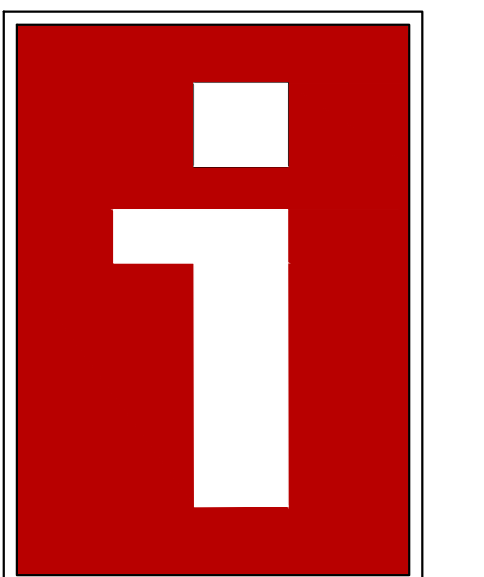


ELEVATION KEY NOTES	
SYM.	DESCRIPTION
ROOFING	
101	CLASS "B" 3 DIMENSIONAL ASPHALT SHINGLE (ARCHITECT #8 OR BETTER) BY GAF @ 3/8" FELT PAPER
102	LIGHT WEIGHT EAGLE-LITE S-SHAPED CONCRETE ROOF TILE @ 3/8" FELT PAPER INSTALLED PER MANUF. SPEC.
103	22 GAUGE CORRUGATED METAL PAN ROOFING @ TYVEK @ PLYWOOD
FASCIA	
200	2X FASCIA BOARD INSTALLED WITH MIN 3 HOT DIPPED GALVANIZED 16d NAILS @ EACH JOIST.
201	1" X HANDI-BOARD FASCIA
FINISHES	
303	EXTERIOR WALL FINISH - THREE COAT STUCCO CEMENT 1/2" MIN THICK WITH 30/30 FINISH. INSTALLED OVER WIRE MESH OVER TYVEK WATERPROOF BUILDING WRAP OVER PLYWOOD SHEETING PER STRUCTURAL PLANS. STUCCO COLOR COAT TO BE SEL. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
305	EXTERIOR WALL FINISH - 1/2" X 3/8" HARD-BRAND SHIP LAP FIBRE CEMENT BOARD INSTALLED OVER TYVEK POLY-KING BUILDING PAPER OVER PLYWOOD SHEETING PER STRUCTURAL DRAWINGS.
306	EXTERIOR WALL FINISH - 27" X 33" EDGOTONE (MATERIAL) @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
307	DECORATIVE WALL TREATMENT - 24" X 48" PORCELAIN TILE @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
308	EXTERIOR WALL FINISH - 1/2" BRICK VENEER OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
309	EXTERIOR WALL FINISH - MOUNTAIN BLEND STACKED STONE BY EL DORADO OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
310	STUCCO OR PANEL WEEP SCREED @ 4" MIN ABOVE FINISH GRADE.
311	22 GAUGE CORRUGATED METAL PAN @ TYVEK @ PLYWOOD
DOOR / WINDOW SYSTEMS	
900	WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
901	DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
902	2" X 4" SELF FLASHING SKYLIGHT (CLEAR) BY VELOX OR EQ. INSTALLED PER MANUF. SPEC.
903	14" X 36" SELF FLASHING SKYLIGHT (CLEAR) BY VELOX OR EQ. INSTALLED PER MANUF. SPEC.
904	CONCRETE SLAB - FOUNDATION PER STRUCTURAL DRAWING. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
905	CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN, NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
MISCELLANEOUS	
000	FLOOR MOUNTED AC UNIT - PROVIDE GAS VALVE AND LIGHT SWITCH, 110-220V RECEPTACLE.
001	WALL MOUNT ROOF ACCESS LADDER
002	PARAPET WALL WITH 22 GAUGE METAL CAP
003	2 X REDWOOD TRELLIS @ 12" O.C. (PAINT FINISH)
004	12" SQ. DOGGER ATTIC VENT INSTALLED PER MANUF. SPEC.
005	VAULTED ROOF - LINEAR ROOF VENT INSTALL PER MANUF. SPEC.
006	EXTERIOR LIGHTING - ARCHITECTURAL. DECORATIVE STYLE WALL PACK EXTERIOR LIGHTING. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
007	GUARDRAIL - WROUGHT IRON METAL GUARDRAIL INSTALLED AT 42" HIGH MAX W/ 3/8 THK X 1 1/2" FLAT (HORIZ.) W/ BALUSTERS @ 4" OC MAX.
008	GUARDRAIL - SOLID LOW WALL - 42" HIGH SOLID GUARDRAIL W/ SMOOTH STUCCO FINISH
009	ROOF DRAIN - SCUPPER/LADDER 2 X 4 METAL PATTERN TO MATCH WALL
010	ARCHITECTURAL TREATMENT - ARCHITECTURAL PROJECTIONS - SEE FLR & ELEV. PLAN
011	ARCHITECTURAL RELIEF - FURRED WALL - SEE FLR & ELEV. PLAN
EXTERIOR COLORS / FINISHES	
001	SHERWIN WILLIAMS EXTERIOR PAINT - SW 765 THUNDER GREY - EGG SHELL OR SEMI-GLOSS
002	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7010 WHITE DUCK - EGG SHELL OR SEMI-GLOSS
003	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7031 MESA GREY - EGG SHELL OR SEMI-GLOSS
004	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7005 PURE WHITE - EGG SHELL OR SEMI-GLOSS
005	LARGE FORMAT TILE.

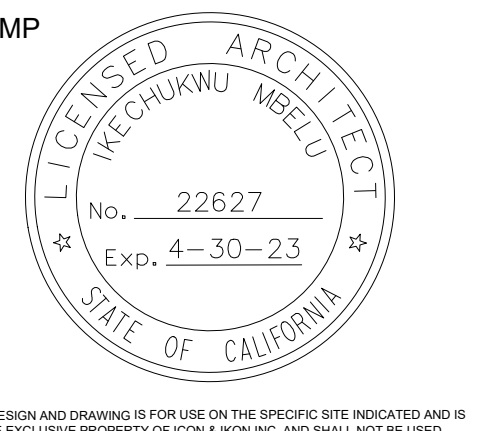
SCALE 1/4"=1'-0" 1



SOUTH ELEVATIONS SCALE 3/16"=1'-0" 4



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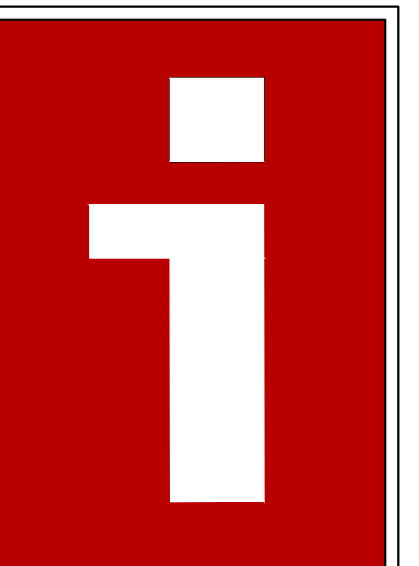
HARB TERRACE GARDENS
PROPOSED 11 UNIT TOWNHOME DEVELOPMENT
PROJECT ADDRESS
138 W. 223 RD STREET
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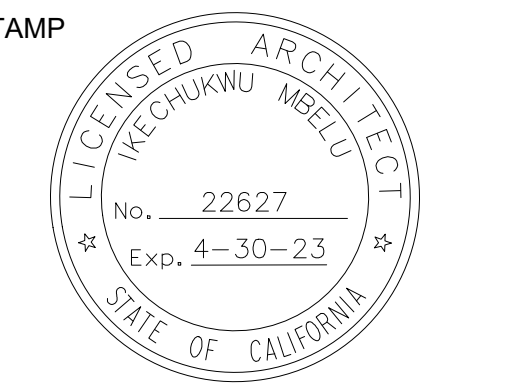
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PROPOSED 11 UNIT TOWNHOME DEVELOPMENT
PROJECT ADDRESS
1 3 8 W . 2 2 3 R D S T R E E T .
C A R S O N , C A 9 0 2 7 4

PROJECT TITLE
PROJECT ADDRESS

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TITLE
ELEVATIONS

SHEET #
A - 803

NO. OF 100

ELEVATION KEY NOTES	
SYM.	DESCRIPTION
	ROOFING
101	CLASS # 3 DIMENSIONAL ASPHALT SHINGLE (ARCHITECT 80 OR BETTER) BY GAF @ 3/8" FELT PAPER
102	LIGHT WEIGHT EAGLE-LITE S-SHAPED CONCRETE ROOF TILE @ 3/8" FELT PAPER INSTALLED PER MANUF. SPEC.
103	22 GAUGE CORRUGATED METAL PAN ROOFING @ TYVEK @ PLYWOOD
	FASCIA
200	2" X FASCIA BOARD INSTALLED WITH MIN 3 HOT DIPPED GALVANIZED 16G NAILS @ EACH JOIST.
201	1" X HARD-BOARD FASCIA
	FINISHES
300	EXTERIOR WALL FINISH - THREE COAT STUCCO CEMENT 1/2" MIN THICK WITH 2030 FINISH. INSTALLED OVER WIRE MESH OVER TYVEK WATERPROOF BUILDING WRAP OVER PLYWOOD SHEETING PER STRUCTURAL PLANS. STUCCO COLOR COAT TO BE SEL. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
305	EXTERIOR WALL FINISH - 1/2" X 3/8" EQUITONE (MATERIAL) @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
306	DECORATIVE WALL TREATMENT - 24" X 48" PORCELAIN TILE @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
307	EXTERIOR WALL FINISH - THIN BRICK VENEER OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
308	EXTERIOR WALL FINISH - MOUNTAIN BLEND STACKED STONE BY EL DORADO OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
309	STUCCO OR PANEL WEEP SCALES @ 4" MIN ABOVE FINISH GRADE.
310	22 GAUGE CORRUGATED METAL PAN @ TYVEK @ PLYWOOD
	DOOR / WINDOW SYSTEMS
300	WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
301	DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
302	2' x 4' SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
303	14" x 30" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
	CONCRETE
400	CONCRETE SLAB - FOUNDATION PER STRUCTURAL DRAWINGS. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
401	CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
	MISCELLANEOUS
900	FLOOR MOUNTED A/C UNIT - PROVIDE GAS VALVE AND LIGHT SWITCH, 110-220V RECEPTACLE.
901	WALL MOUNT ROOF ACCESS LADDER
902	PARAPET WALL WITH 22 GAUGE METAL CAP
903	2 X REDWOOD TRELLIS @ 12" O.C. PAINT FINISH.
904	12" SQ. DOME ATTIC VENT INSTALLED PER MANUF. SPEC.
905	VAULTED ROOF - LINEAR ROOF VENT INSTALL PER MANUF. SPEC.
906	EXTERIOR LIGHTING - ARCHITECTURAL, DECORATIVE STYLE WALL PACK EXTERIOR LIGHTING. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
907	GUARDRAIL - WROUGHT IRON METAL GUARDRAIL INSTALLED AT 42" HIGH MAX W/ 3/8 THK X 1.5" FLAT (HORIZ.) W/ BALUSTERS @ 4" OC MAX.
908	GUARDRAIL - SOLID LOW WALL - 42" HIGH SOLID GUARDRAIL W/ SMOOTH STUCCO FINISH
909	ROOF DRAIN - SCUPPER LADDER 2 X 4 METAL (PAINT TO MATCH WALL)
910	ARCHITECTURAL TREATMENT - ARCHITECTURAL PROJECTIONS - SEE FLR & ELEV. PLAN
911	ARCHITECTURAL RELIEF - FURRED WALL - SEE FLR & ELEV. PLAN
	EXTERIOR COLORS - FINISHES
001	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7045 - THUNDER GREY - EGG SHELL OR SEMI-GLOSS
002	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7016 - WHITE DUCK - EGG SHELL OR SEMI-GLOSS
003	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7031 - MESA GREY - EGG SHELL OR SEMI-GLOSS
004	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7005 - PURE WHITE - EGG SHELL OR SEMI-GLOSS
005	LARGE FORMAT TILE.

SCALE
1/4"=1'-0" 1



SOUTH ELEVATIONS SCALE 3/16"=1'-0" 4

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊗	*Geijera parviflora	Australian Willow	24"box	2		low 0.3
⊙	*Podocarpus gracilior	Fern Pine	24"box	2		low 0.3
○	*Street tree	Per City req.	15-gal	6		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊗	Achillea m. 'Terra cotta'	Common Yarrow	5-gal	24"oc		low 0.3
⊙	*Dianella r. 'Little Rev'	Flax Lilly	5-gal	10		low 0.3
○	*Dianella t. 'Variagta'	Flax Lilly	5-gal	96		low 0.3
▼	*Distictis rivers	Royal Trumpet Vine	5-gal	78	train to wall	low 0.3
○	*Lomandra longifolia 'Breeze'	Breeze Mat-Rush	5-gal	144		low 0.3
*	*Macfadyena unguis-cati	Cat's Claw Vine	5-gal	70	train to wall	low 0.3
⊗	Myoporum p. 'Pink'	Pink Australian Racer	5-gal	48"oc		low 0.3
○	*Myrtus communis 'Compacta'	Myrtle	5-gal	39		low 0.3

* Points claimed for low water use plants

LANDSCAPE AREA: 2,448 SF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

NOTE:

All groundcover areas where plants are 3' oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.
All trees to be planted with commercial root barriers.
3" deep shredded Cedar bark to spread between plants.

PLANTING NOTES

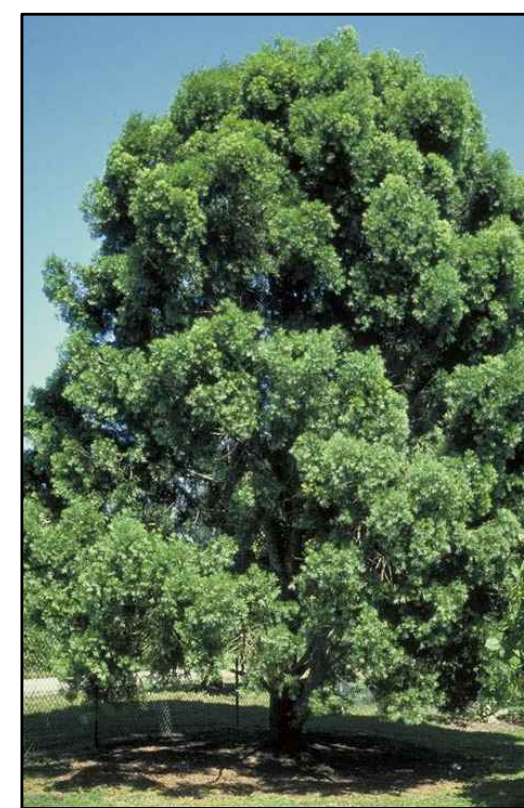
- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
 - *150 LBS. GRO-POWER
 - *3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
 - *ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.



Geijera parviflora / Australian Willow



Podocarpus gracilior / Fern Pine



Achillea m. 'Terra cotta' / Common Yarrow



Dianella r. 'Little Rev' / Flax Lilly



Dianella t. 'Variagta' / Flax Lilly



Distictis rivers / Royal Trumpet Vine



Lomandra longifolia 'Breeze' / Breeze Mat-Rush



Macfadyena unguis-cati / Cat's Claw Vine



Myoporum p. 'Pink' / Pink Australian Racer



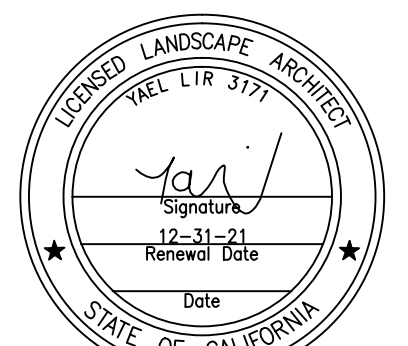
Myrtus communis 'Compacta' / Myrtle



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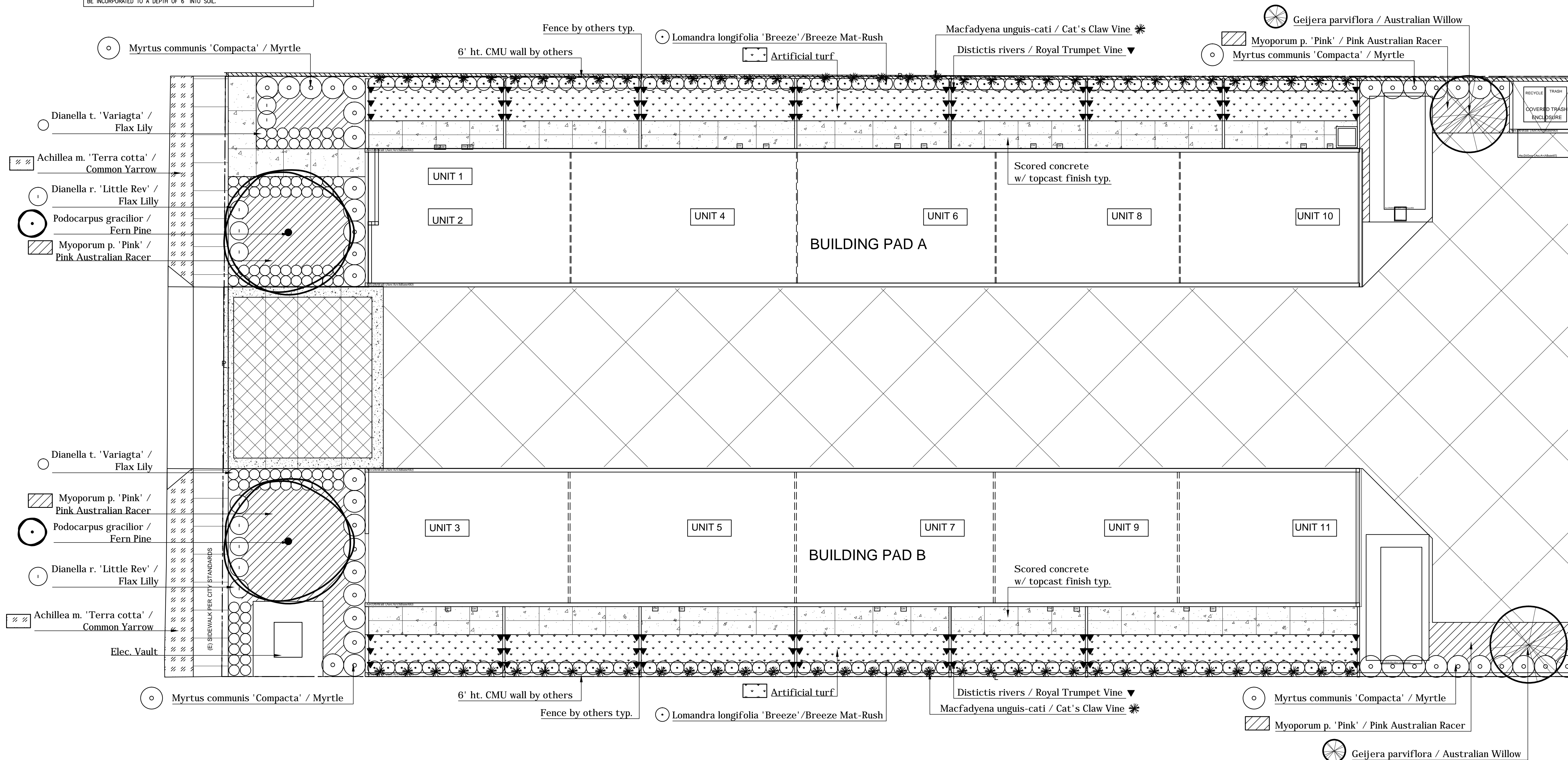
138 W. 223RD. STREET
CARSON, CA 90745

PLANTING PLAN



DATE: NOV. 1, 2021
SCALE: 1/8"=1'-0"
JOB NUMBER: 226321
DRAWN BY:

223RD STREET



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND				
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.
'RAINBIRD' RWS-B-1402		10	-	.50
'SUPERIOR' BRASS CONTROL VALVES, #950				
'NIBCO' GATE VALVE T-113				
'CHRISTY' CONCRETE VALVE BOX				
'RAINBIRD' QUICK COUPLER 44 LRC 1"				
'SUPERIOR' 3100 series MASTER VALVE		1.5"		
'HUNTER' FLOW SENSOR FCT-150 FLOW		1.5"		
'WILKINS' REGULATOR MODEL 500		1.5"		
'WILKINS' BACKFLOW PREVENTER 375				
'HUNTER' ACC2				
'HUNTER' SOLAR SYNC WIRELESS				
SLEEVING SCH. 40 P.V.C.				
PRESSURE LINE SCH. 40 P.V.C.				
NON-PRESSURE LINE SCH. 40 P.V.C.				
IRRIGATION METER		2"		
POINT OF CONNECTION		VERIFY LOCATION ON SITE		
NETAFIM LEGEND				
'NETAFIM' LVC210075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.		
'NETAFIM' LINE FLUSH VALVE		BURIED 3" BELOW GRADE		
'NETAFIM' TECHLINE CV TLCV4-18025		BURIED 3" BELOW GRADE		
NON-PRESSURE 1" SCH. 40 PVC HEADER		BURIED 3" BELOW GRADE		

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- SET ALL VALVES AND QUICK COUPLERS NEXT TO WALKS OR PAVED SURFACES.
- ALL SPRINKLER HEADS ARE TO HAVE TRIPLE SWING JOINTS (EXCEPT WHERE NOTED ON PLANS).
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF THE SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER.
- 120VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS.
- BEFORE COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL OBTAIN AN UNDERGROUND SERVICE ALERT I.D. NUMBER BY CALLING 1-800-422-4133. TWO (2) WORKING DAYS SHALL BE ALLOWED AFTER THE I.D. NUMBER IS OBTAINED AND BEFORE THE EXCAVATION WORK IS STARTED SO THAT UTILITY OWNERS CAN BE NOTIFIED.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE GRADE DIFFERENCES, LOCATION OF WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING, ETC.

- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE OF 80 P.S.I. AND A MAXIMUM FLOW DEMAND OF 25 G.P.M. THE CONTRACTOR SHALL VERIFY WATER PRESSURES PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE ARCHITECT.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT THERE ARE UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES IN THE AREA. DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACTOR IS TO PROVIDE 100% COVERAGE TO ALL PLANTING AREAS. AS PART OF THE SCOPE OF WORK, PROVIDE ANY ADDITIONAL HEADS, SPECIAL NOZZLES, OR PATTERNS TO ACHIEVE PROPER COVERAGE WITH A MINIMUM OF OVER SPRAY AT NO ADDITIONAL COST TO THE OWNER.
- INSTALLATION FOR THE CONTROL WIRES SHALL FOLLOW MAINLINE ROUTING.
- PROVIDE SLEEVES AS SHOWN ON DRAWING OR AS NEEDED. USE SIZE DIAMETER MIN. SCH. 80 P.V.C. MIN. DEPTH TO TOP OF LINE.
- LOCATE VALVE CHART IN CONTROLLER - REDUCE AND ENCASE IN PLASTIC (AS BUILT).
- GUARANTEE: THE INSTALLED SPRINKLER SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. SHOULD ANY TROUBLE DEVELOP WITHIN THE TIME SPECIFIED DUE TO INFERIOR OR FAULTY MATERIAL OR WORKMANSHIP, THE TROUBLE SHALL BE CORRECTED BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER.
- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING THIS SECTION OF WORK.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

Jal 11/11/2021

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET₀): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	475	175.75	5459
2 / water use plants	.3	DRIP	.81	.37	202	74.74	2321
3 / water use plants	.3	DRIP	.81	.37	461	170.57	5298
4 / water use plants	.3	DRIP	.81	.37	20	7.4	229
5 / water use plants	.3	DRIP	.81	.37	217	80.29	2493
6 / water use plants	.3	DRIP	.81	.37	10	3.7	114
7 / water use plants	.3	DRIP	.81	.37	125	46.25	1436
8 / water use plants	.3	DRIP	.81	.37	10	3.7	114
9 / water use plants	.3	DRIP	.81	.37	165	61.05	1896
10 / water use plants	.3	DRIP	.81	.37	217	80.29	2493
SUM					1,902	703.74	

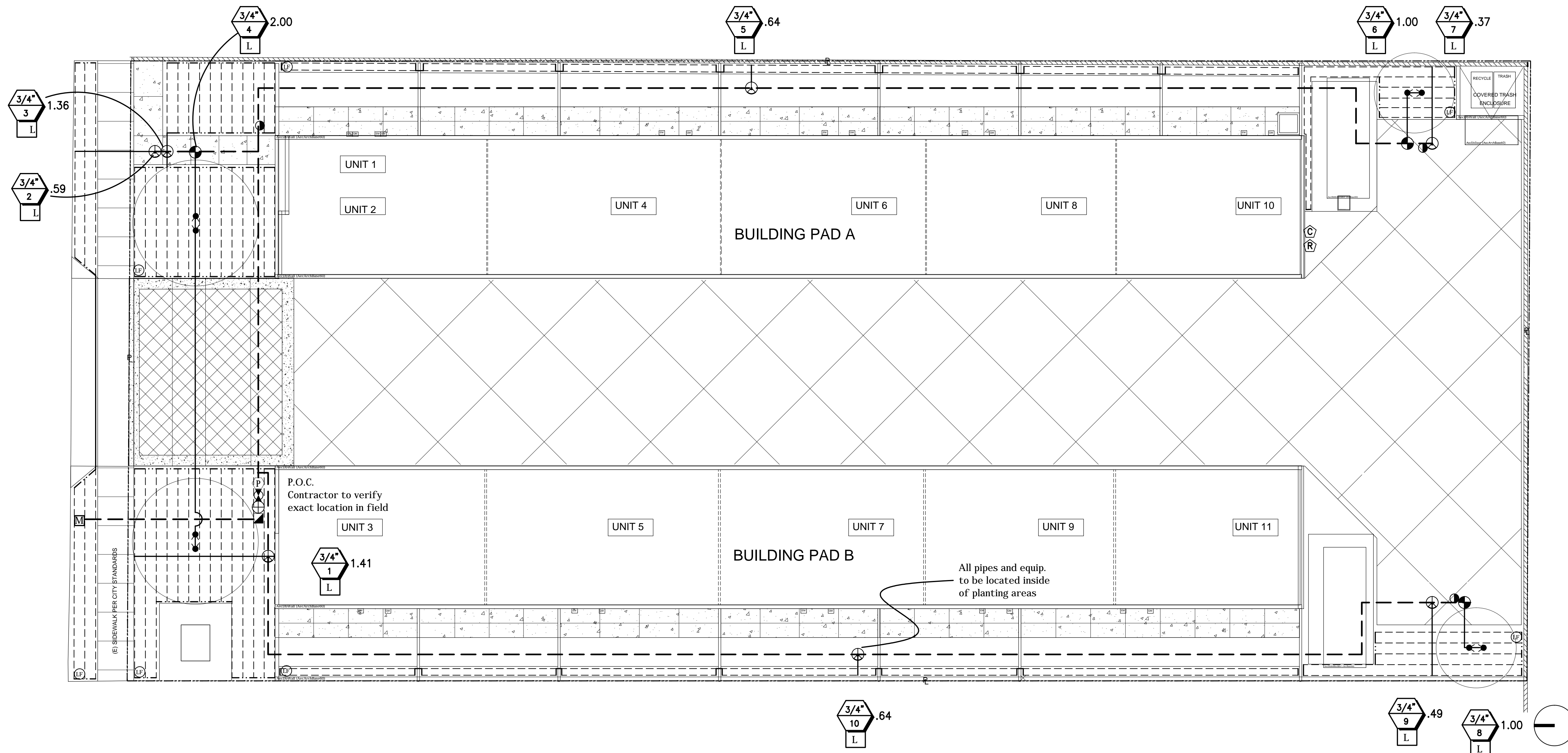
ETAF CALCULATION

ETAF x AREA	703.74
TOTAL AREA	1,902
AVERAGE ETAF	.37

ESTIMATED TOTAL WATER USE (ETWU)	21,853
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	41,821

SIZE NO. GPM
H—HYDROZONE

LANDSCAPE AREA: 1,902 SF
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY



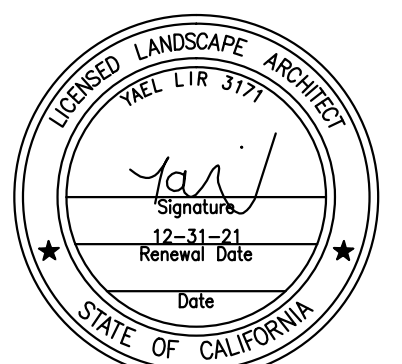
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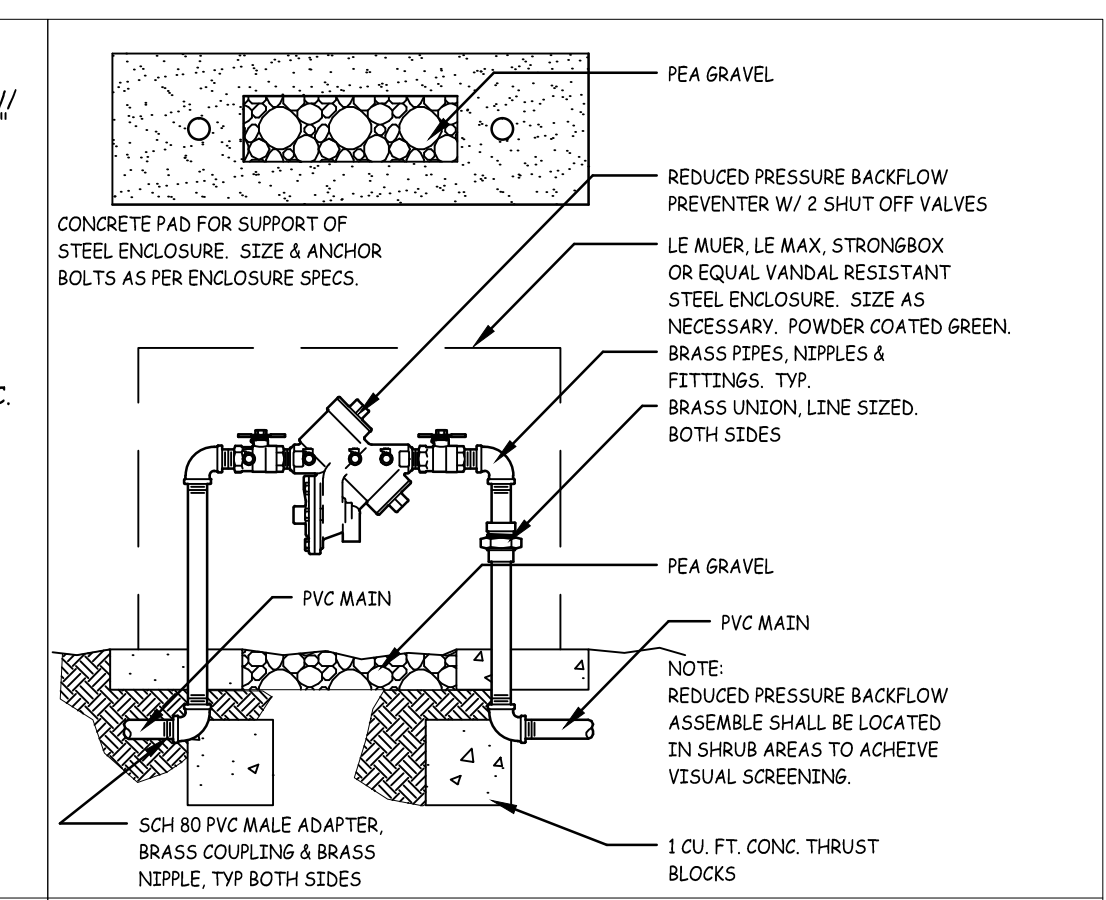
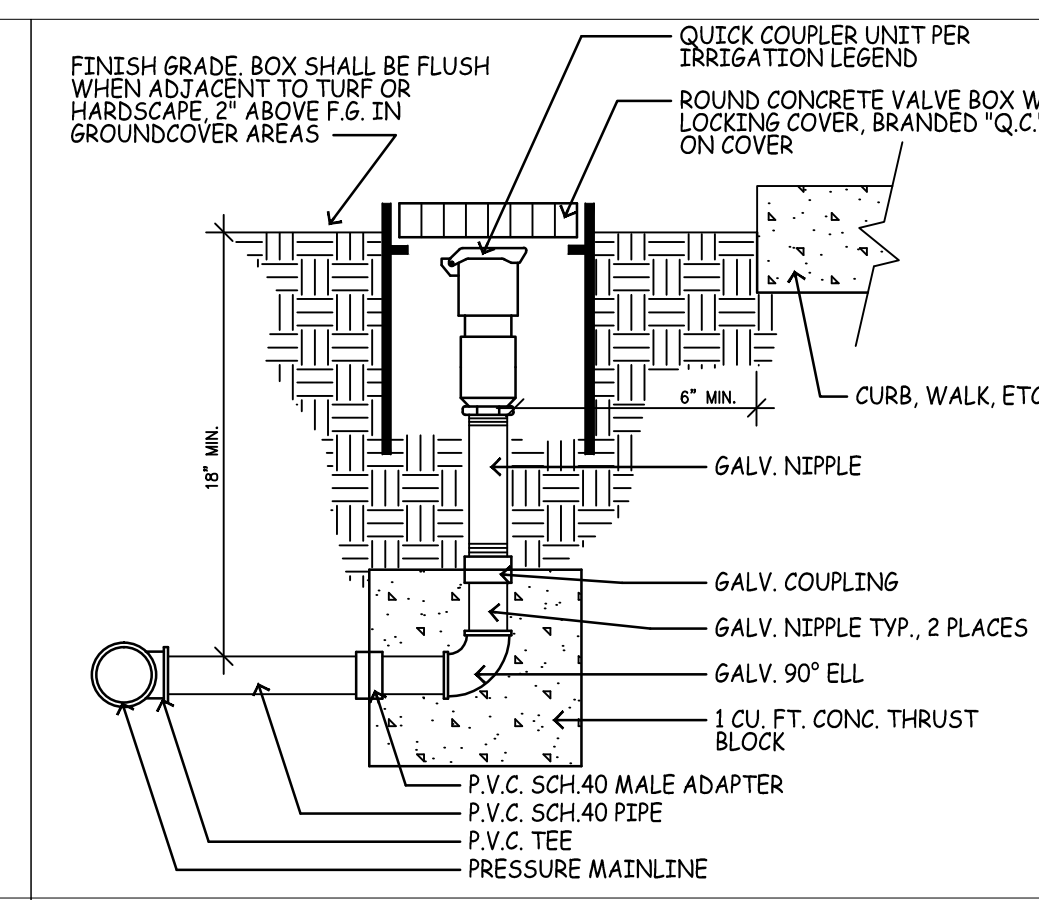
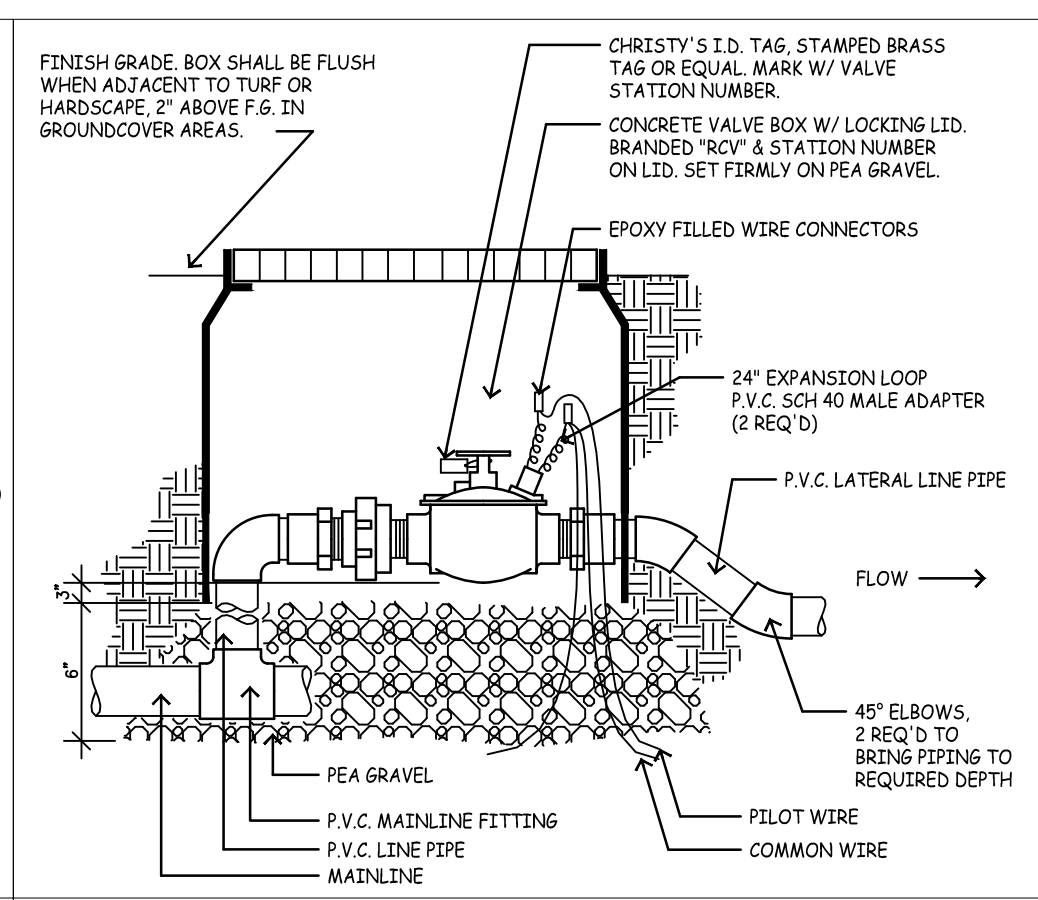
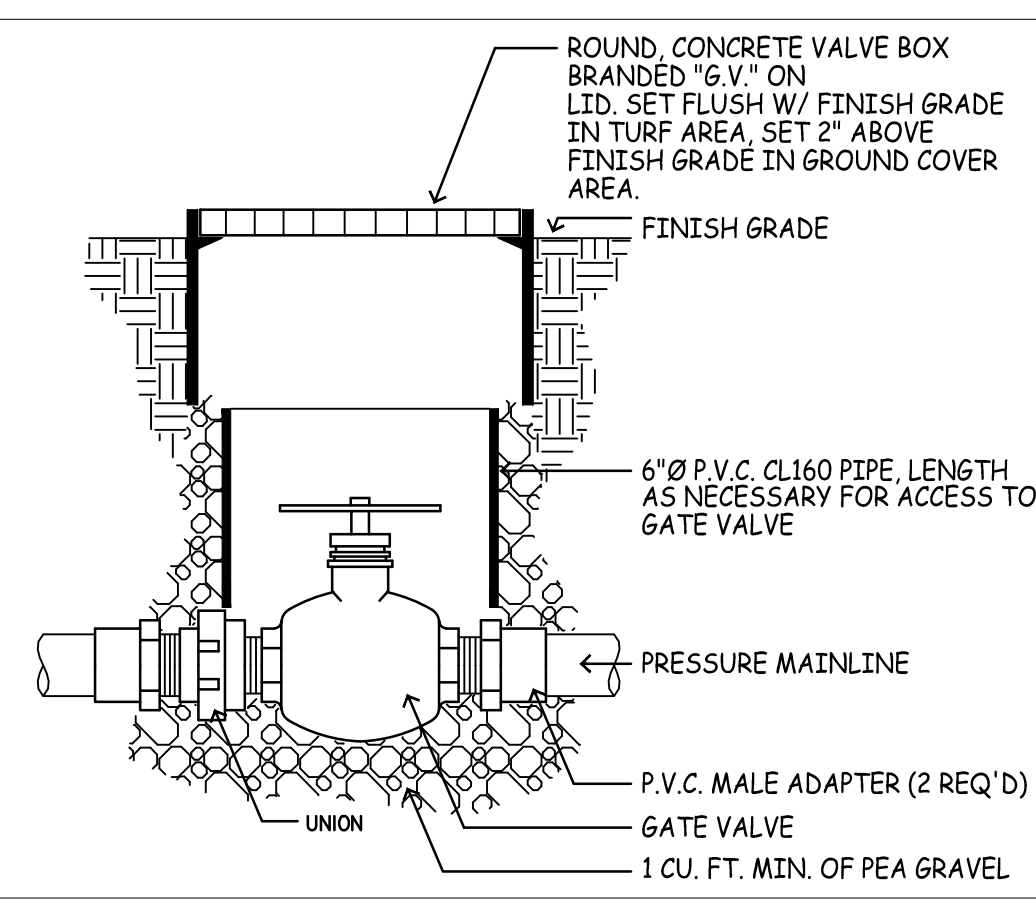
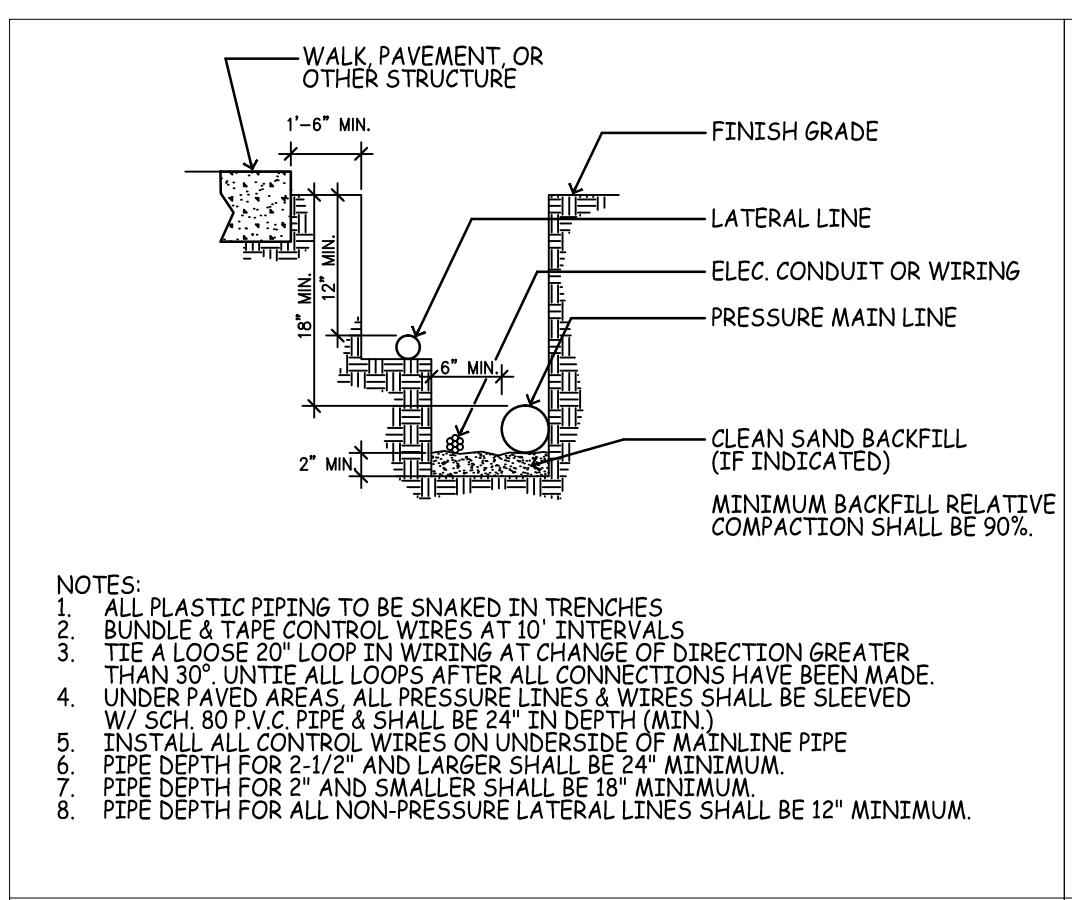
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Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

138 W. 223RD. STREET
CARSON, CA 90745

IRRIGATION PLAN



DATE: NOV. 1, 2021
SCALE: 1/8" = 1'-0"
JOB NUMBER: 226321
DRAWN BY:



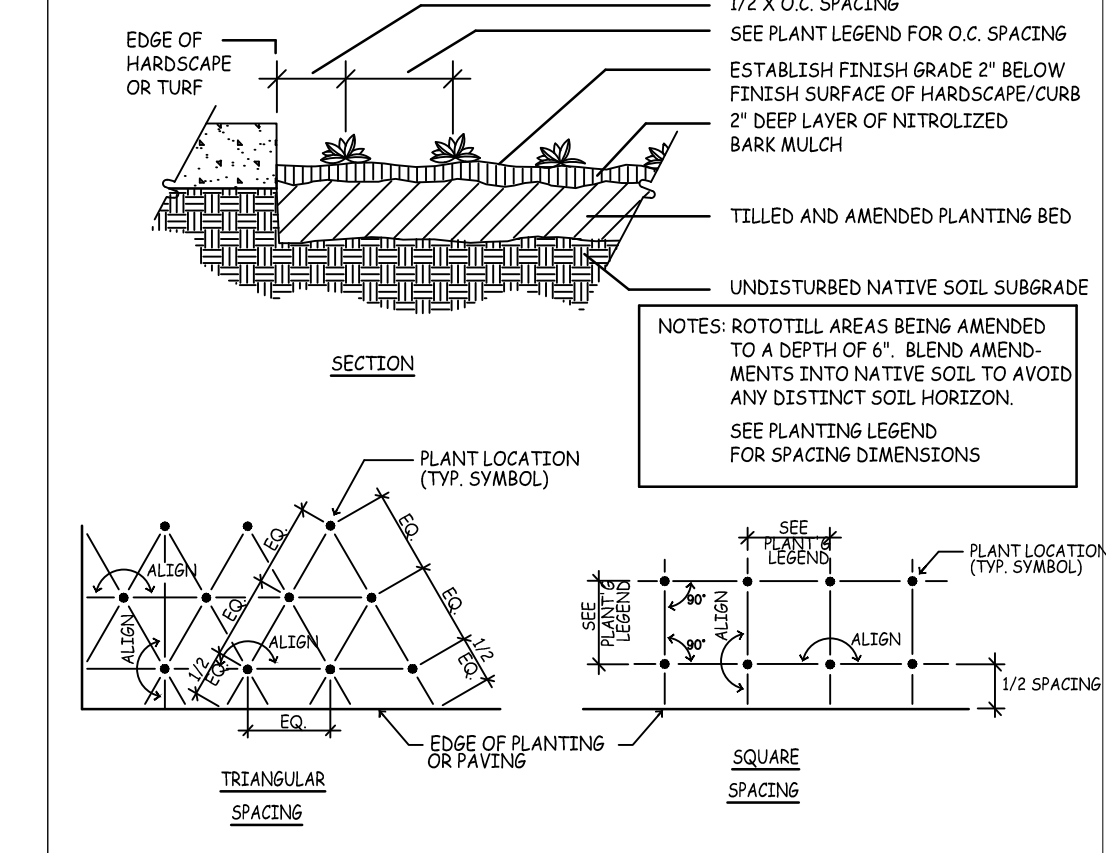
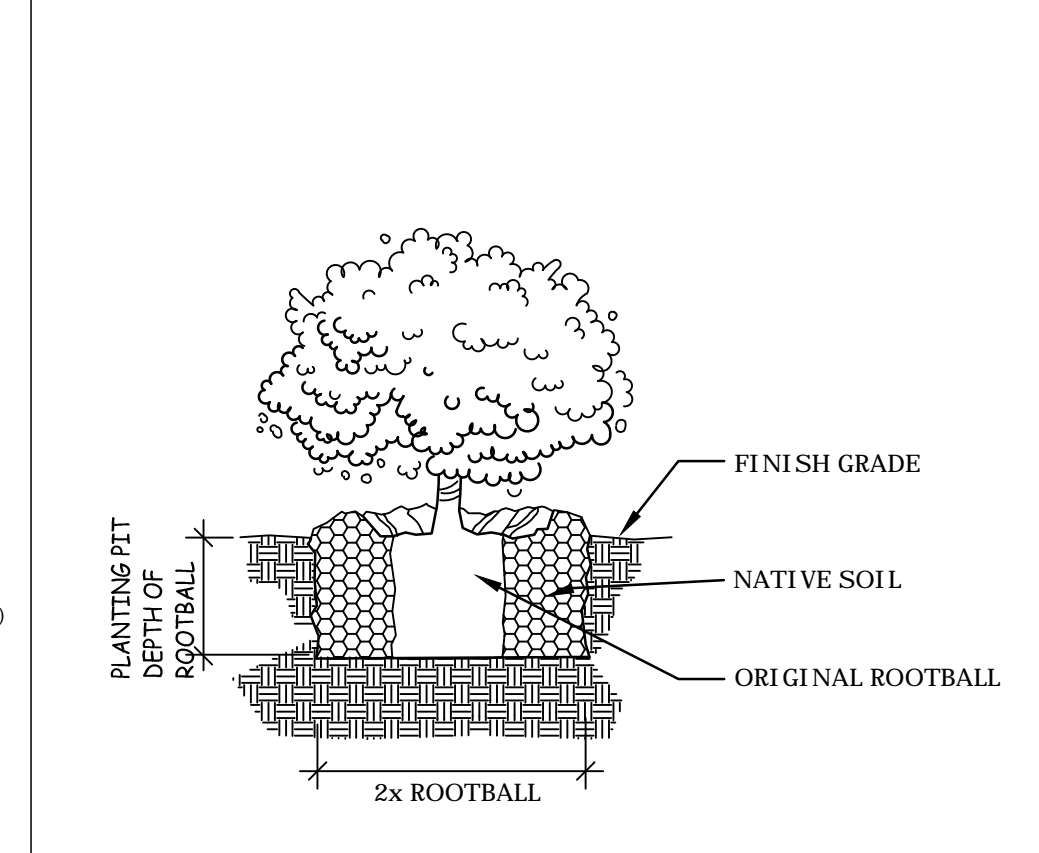
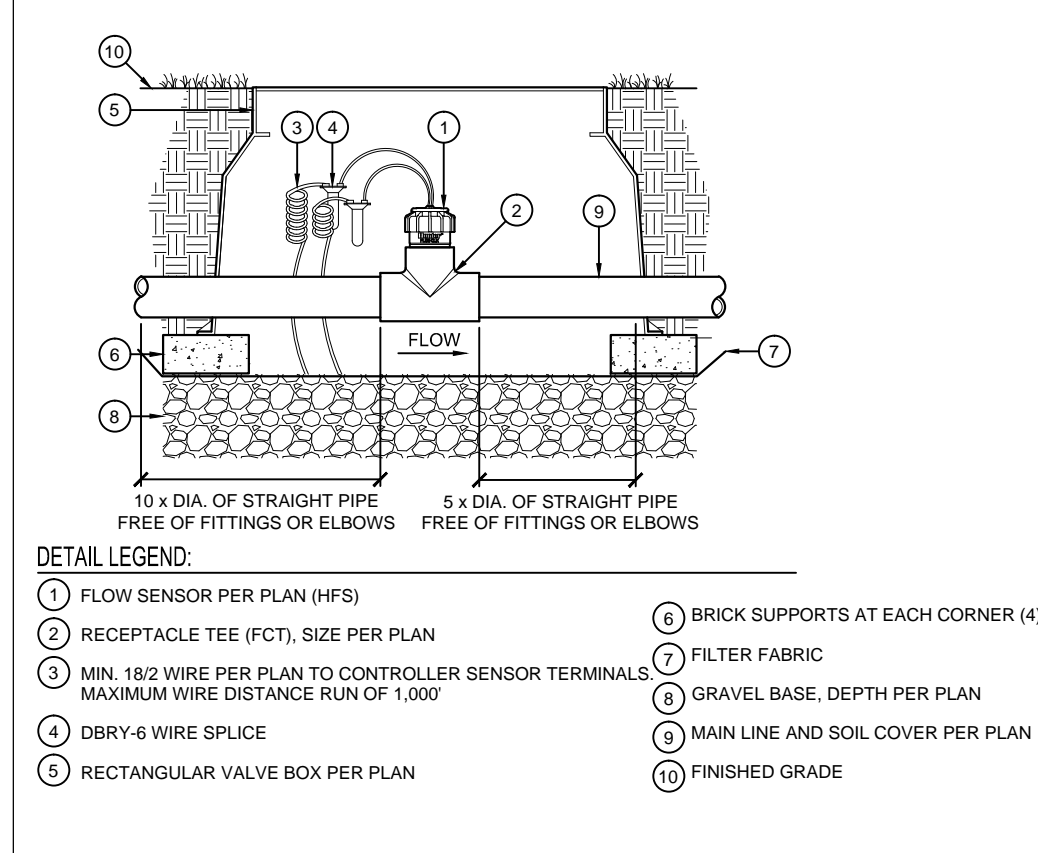
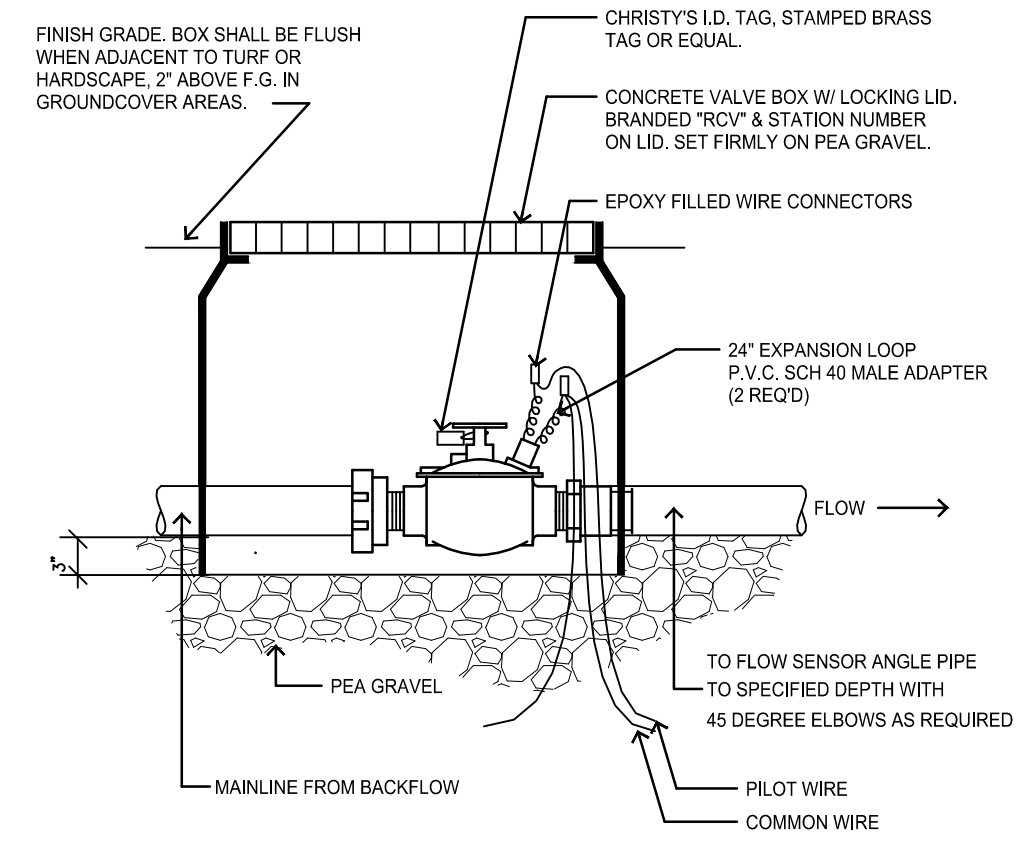
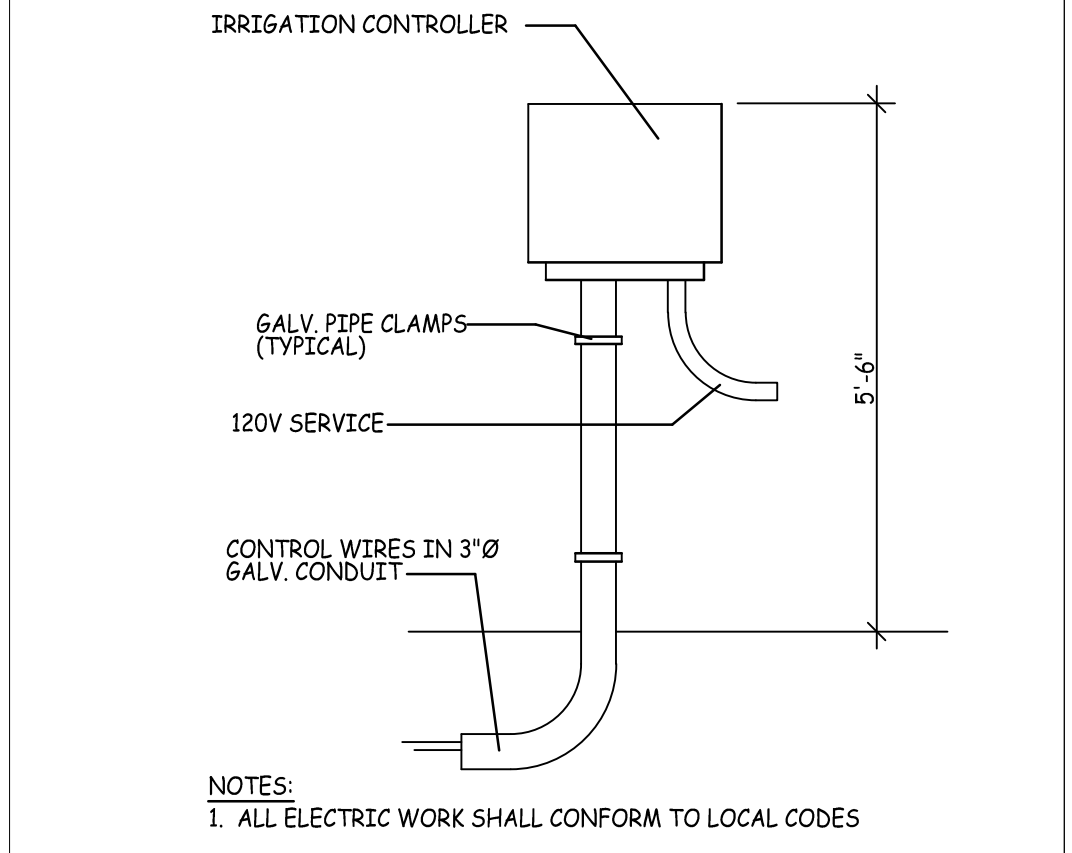
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GATE VALVE
SCALE: N.T.S.
FILE: D_IRR003

CONTROL VALVE
SCALE: N.T.S.
FILE: D_IRR004

QUICK COUPLER
SCALE: N.T.S.
FILE: D_IRR005

BACKFLOW PREVENTER
SCALE: N.T.S.
FILE: D_IRR006



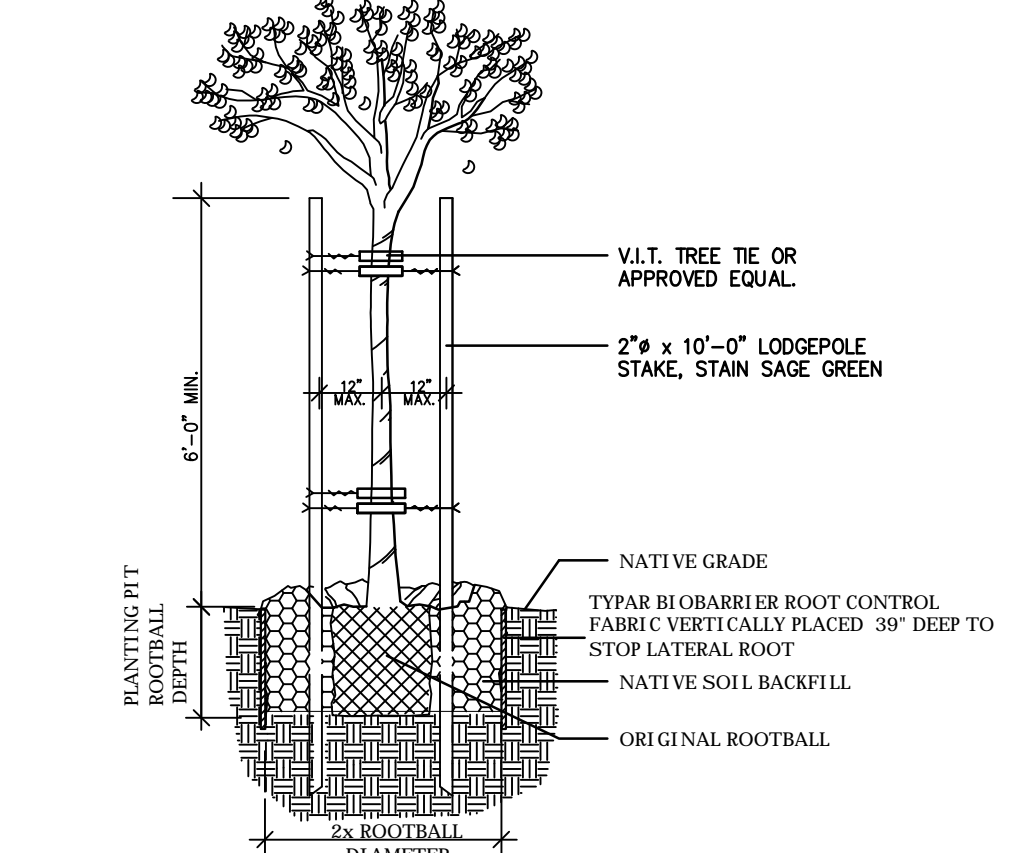
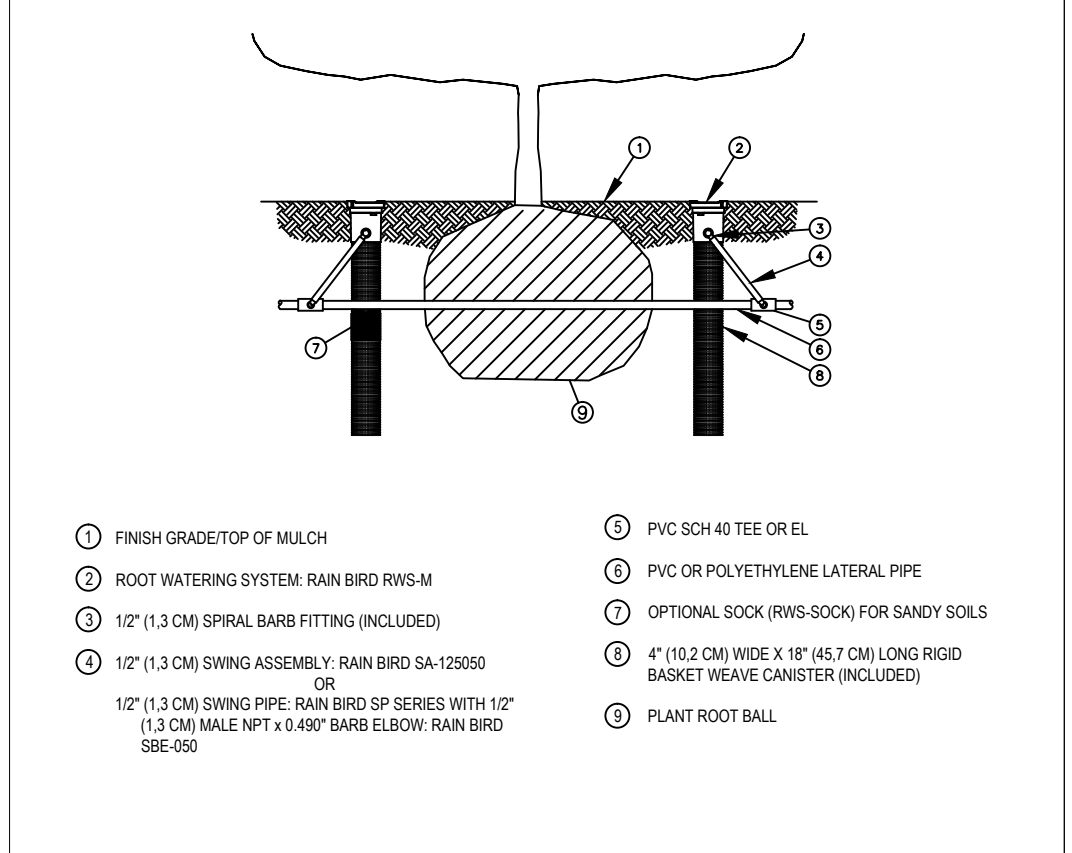
IRRIGATION CONTROLLER
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FILE: D_IRR008

MASTER VALVE
SCALE: N.T.S.
FILE: D_IRR004

FLOW SENSOR
SCALE: SCALE
FILE: FILENAME

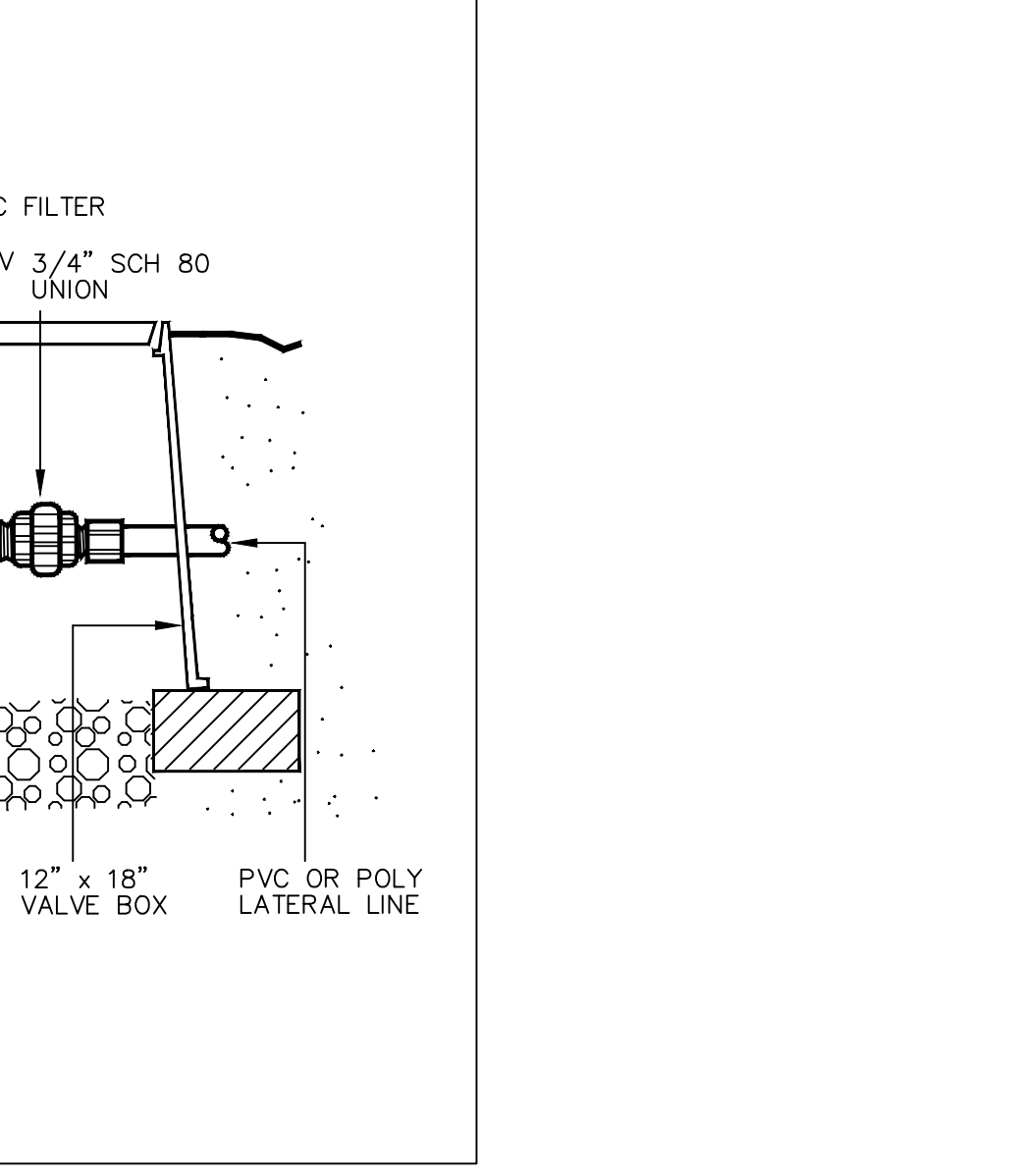
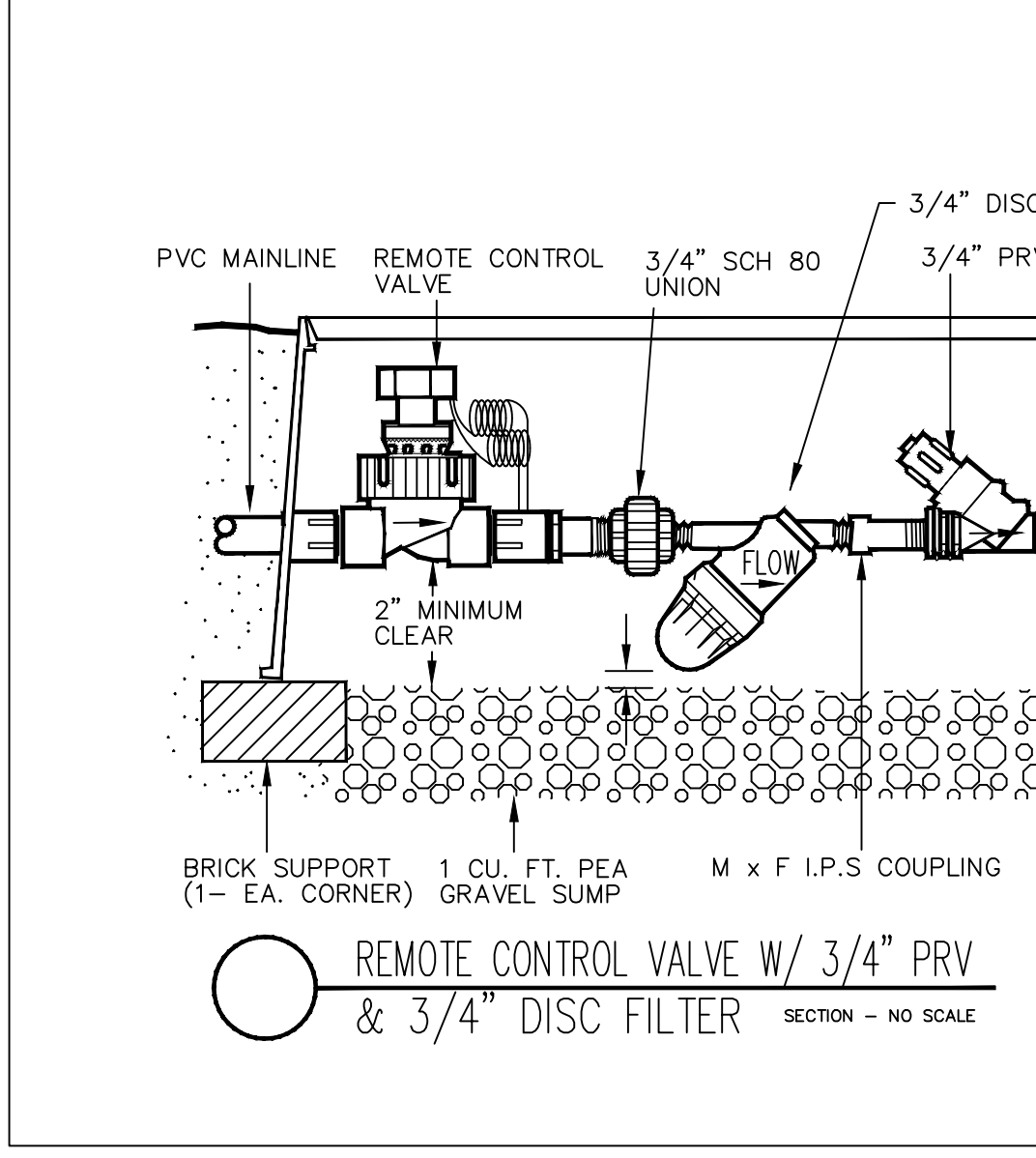
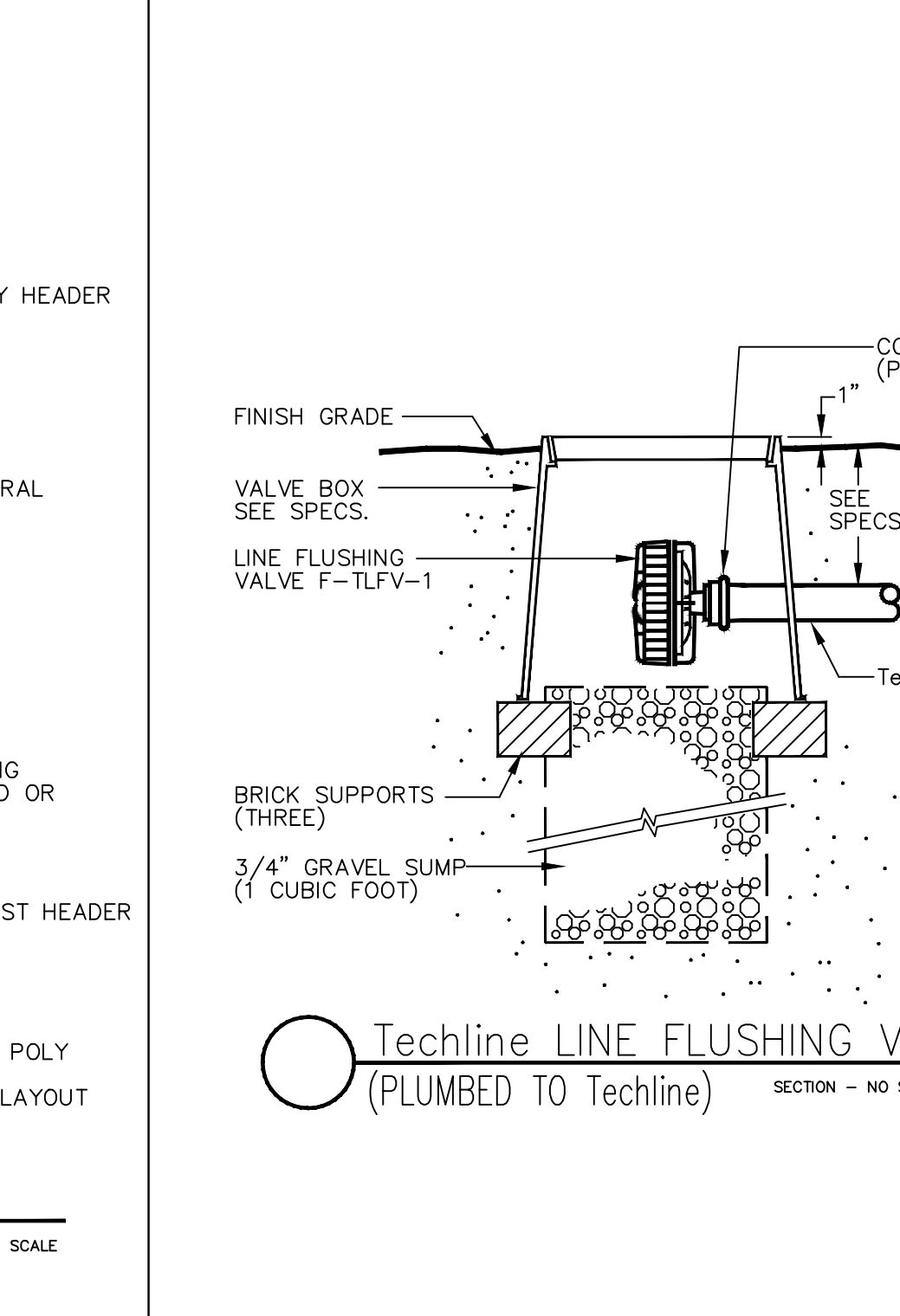
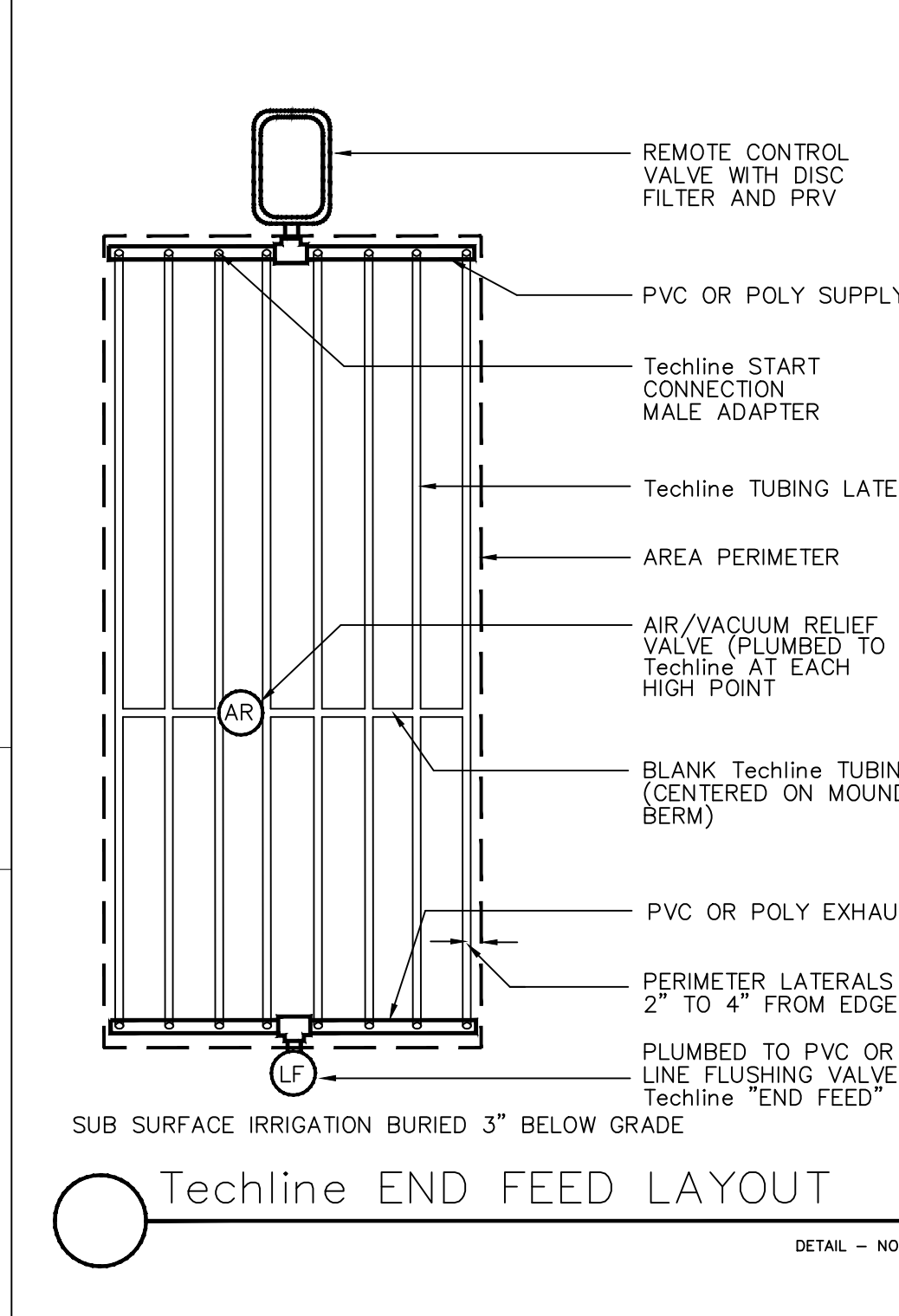
SHRUB PLANTING
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FILE: D_PLA001

GROUNDCOVER PLANTING
SCALE: N.T.S.
FILE: D_PLA002



TREE ROOT WATER SYSTEM
SCALE: N.T.S.
FILE: FILENAME

TREE PLANTING & STAKING
SCALE: N.T.S.
FILE: PLA_003

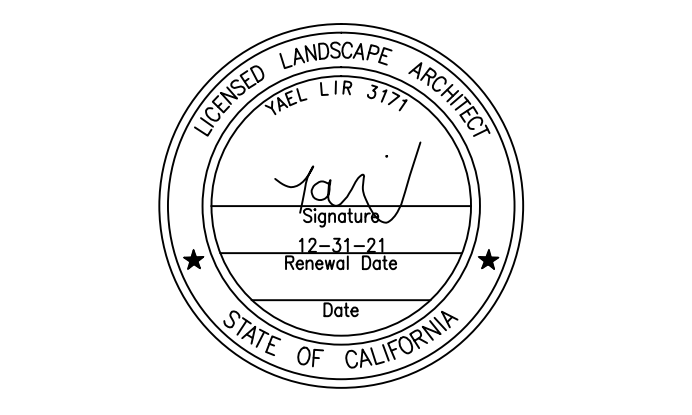


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Yael
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yael@yaellir.com

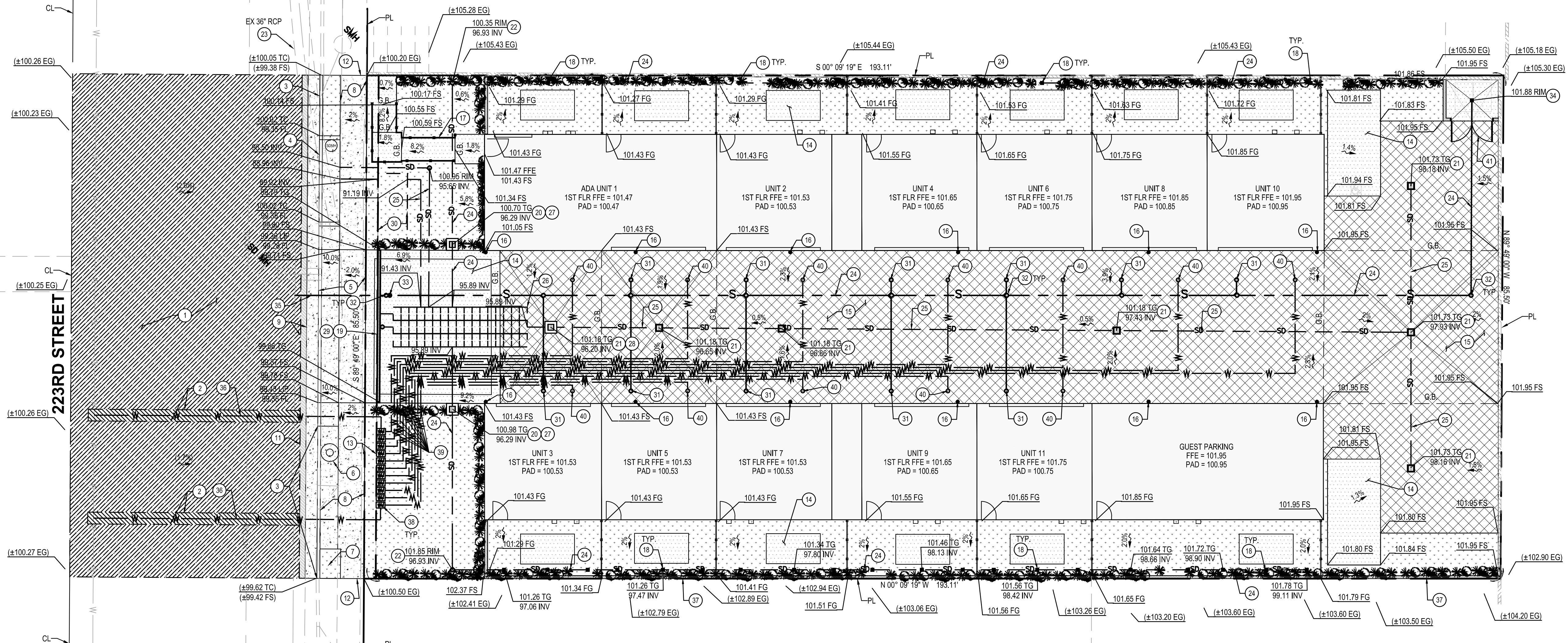
138 W. 223RD. STREET
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DETAIL SHEET



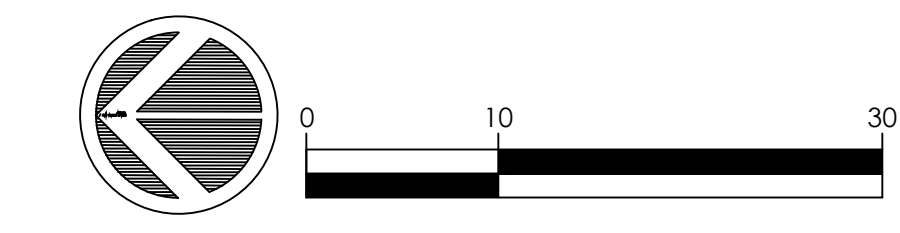
DATE: NOV. 1, 2021
SCALE: 1/8"=1'-0"
JOB NUMBER: 226321
DRAWN BY:

EX 3 STORY COMPLEX



EX MOBILE HOME PARK

EX 1 STORY COMPLEX



GRADING & DRAINAGE PLAN

SCALE: 1"=10'

HATCH LEGEND

- ON-SITE PAVEMENT PER LANDSCAPE PLANS
- NEW PCC CONCRETE
- NEW LANDSCAPING PER LANDSCAPE PLANS
- NEW BUILDING
- NEW DRIVEWAY PCC
- NEW WALL PER ARCHITECTURAL PLANS.
- AREA DRAIN PAVEMENT GRADING (TYP.). SLOPES SHALL BE 2% MAX AT PAVED AREAS AND 5% MAX AT LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
- 2' GRIND AND OVERLAY
- FULL DEPTH AC PAVEMENT
- STREET TRENCHING

CONSTRUCTION NOTES

- (P) PROTECT IN PLACE EXISTING IMPROVEMENTS
- (1) 2' AC GRIND AND OVERLAY FROM CURB FACE TO STREET CL OF PROJECT FRONTAGE PER CITY OF CARSON SPECIFICATIONS
- (2) CONSTRUCT PIPE BEDDING AND TRENCH BACKFILL PER GOLDEN STATE WATER COMPANY STD PLAN P-3
- (3) CONSTRUCT 6" CURB WITH 24" GUTTER (TYPE A2) PER CITY OF CARSON STD PLAN 108
- (4) RELOCATE EXISTING CITY CATCH BASIN TO NEW LOCATION. REALIGN ALL EXISTING STORM DRAINS TO RECONNECT TO NEW LOCATION
- (5) CONSTRUCT DRIVEWAY PER CITY OF CARSON STD PLAN 109
- (6) RELOCATE EXISTING STREET LIGHT TO NEW LOCATION PER CITY OF CARSON SPECIFICATIONS
- (7) CONSTRUCT TREE WELL PER CITY OF CARSON STD PLAN 117
- (8) CONSTRUCT SIDEWALK PER CITY OF CARSON STD PLAN 117
- (9) CONSTRUCT 18" WIDE FULL DEPTH AC PAVEMENT.
- (10) SAWCUT AND MATCH EXISTING PAVEMENT
- (11) SAWCUT AND MATCH EXISTING CURB AND GUTTER TO NEAREST JOINT
- (12) SAWCUT AND MATCH EXISTING SIDEWALK TO NEAREST JOINT
- (13) 2' EASEMENT. SEE SURVEY PLANS FOR ADDITIONAL INFORMATION.
- (14) CONSTRUCT ON-SITE HARDSCAPE PER ARCHITECTURAL PLANS
- (15) CONSTRUCT DRIVEWAY PCC CONCRETE PER DETAIL 'A' ON SHEET 2
- (16) DOWNSPOUT PER ARCHITECTURAL PLANS. DOWNSPOUT TO DAYLIGHT AT GRADE AND SHEET FLOW TO NEAREST AREA DRAIN INLET. SEE DETAIL 'B' ON SHEET 2
- (17) CONSTRUCT HANDRAILS PER ARCHITECTURAL PLANS
- (18) CONSTRUCT 6" ATRIUM DRAIN PER DETAIL 'C' ON SHEET 2
- (19) CONSTRUCT 4" WIDE TRENCH DRAIN WITH TRAFFIC RATED GRATE. SEE DETAIL 'D' ON SHEET 2 FOR CHANNEL DRAIN OUTLET DETAIL
- (20) CONSTRUCT 12"x12" PRECAST CONCRETE BOX WITH STANDARD INLET GRATE, BROOKS PRODUCT OR APPROVED EQUAL
- (21) CONSTRUCT 18"x18" PRECAST CONCRETE BOX WITH STANDARD INLET GRATE, BROOKS PRODUCT OR APPROVED EQUAL
- (22) CONSTRUCT STORM DRAIN CLEANOUT PER DETAIL 'F' ON SHEET 2
- (23) 72 HOURS PRIOR TO CONSTRUCTION, POTHOLE AND VERIFY LOCATION, DEPTH, MATERIAL, AND SIZE OF EXISTING STORM DRAIN. REPORT FINDINGS TO CIVIL ENGINEER PRIOR TO CONSTRUCTION.
- (24) CONSTRUCT 6" SDR35 PVC PIPE AND FITTINGS OR APPROVED EQUAL. SEE DETAIL 'E' ON SHEET 2 FOR TRENCHING DETAILS
- (25) CONSTRUCT 12" SDR35 PVC PIPE AND FITTINGS OR APPROVED EQUAL. SEE DETAIL 'E' ON SHEET 2 FOR TRENCHING DETAILS
- (26) FURNISH AND INSTALL (76) ECORAIN TANKS (ET-1504) OR APPROVED EQUAL. SEE DETAIL 'G' ON SHEET 2
- (27) FURNISH AND INSTALL FLOGARD LOPRO FG-M12 OR APPROVED EQUAL. SEE DETAIL 'H' ON SHEET 2
- (28) FURNISH AND INSTALL FLOGARD LOPRO FG-M18 OR APPROVED EQUAL. SEE DETAIL 'H' ON SHEET 2
- (29) FURNISH AND INSTALL TRENCH DRAIN FILTER INSERT, OLDCASTLE FG-TD04F OR APPROVED EQUAL
- (30) FURNISH AND INSTALL BIOPOD BIOFILTER WITH EXTERNAL BYPASS (BP-U412B) BY OLDCASTLE PRECAST PER DETAIL 'A' ON SHEET 3
- (31) SEWER POC TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION
- (32) CONSTRUCT SEWER CLEANOUT PER SPPWC STD PLAN NO. 204-2
- (33) FURNISH AND INSTALL BACKWATER VALVE
- (34) CONSTRUCT 6" AREA DRAIN WITH P-TRAP PER DETAIL 'B' ON SHEET 2
- (35) 72 HOURS PRIOR TO CONSTRUCTION, POTHOLE AND VERIFY LOCATION, DEPTH, MATERIAL, SIZE, AND CONDITION OF EXISTING SEWER LATERAL. REPORT FINDINGS TO CIVIL ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCT NEW 6" VCP SEWER LATERAL PER SPPWC (2012) STD. PLAN 222-1. CONNECTION INTO MAIN LINE SHALL INCORPORATE THE INSTALLATION OF A NEW "WYE" CONNECTION. SADDLES SHALL NOT BE ALLOWED.
- (36) CONSTRUCT 1-INCH GROUPED DOMESTIC SERVICE CONNECTION PER GOLDEN STATE WATER CO STD PLAN P-29
- (37) NEW RETAINING WALL PER SEPARATE PERMIT.
- (38) CONSTRUCT 1" WATER METER
- (39) CONSTRUCT 1" SCHEDULE 40 PVC PIPE AND FITTINGS. VERIFY SIZING WITH PLUMBING ENGINEER. SEE DETAIL 'E' ON SHEET 2 FOR TRENCHING DETAILS.
- (40) WATER POC TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION
- (41) NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS

REVISIONS			
NO.	APP	DATE	

CITY OF CARSON
DEPARTMENT OF PUBLIC WORKS

GRADING & DRAINAGE PLAN

PLAN NO.
SHT 1 OF 3 SHT

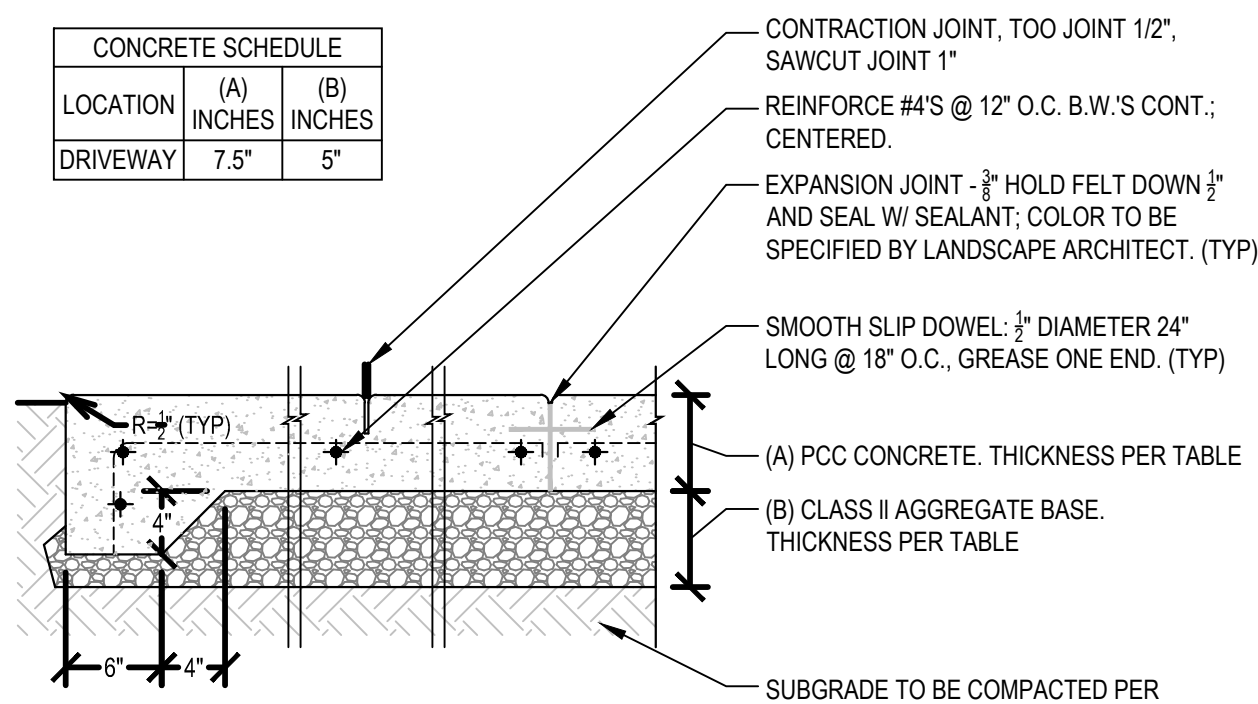
PREPARED BY:
 FGB & ASSOCIATES
 17410 ELAINE AVENUE
 ARTESIA, CA 90701
 TEL: 562.584.1071
 FGBANDASSOCIATES.COM

BENCH MARK:
 FD L+P TC
 ASSUMED EL.: 100.00'

SURVEYER INFO:
 PACIFIC LAND CONSULTANTS, INC
 28441 HIGHRIDGE RD. SUITE 230
 ROLLING HILLS ESTATES, CA 90274
 (310) 544-8689

CONSTRUCTION AND EXCAVATION PERMIT
 FROM CITY OF CARSON REQUIRED
 DATE _____
 NO. _____

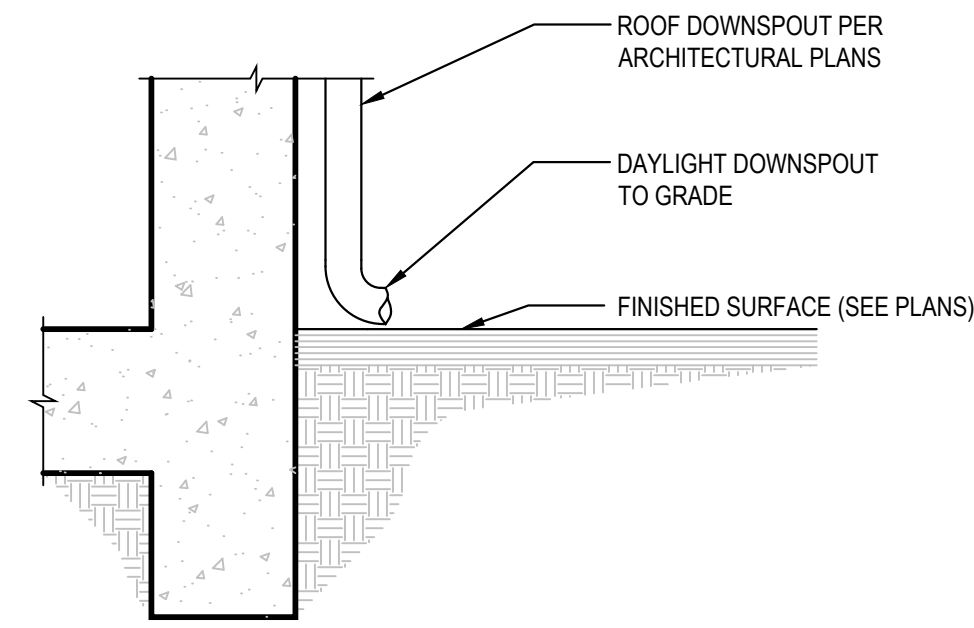
CONCRETE SCHEDULE		
LOCATION	(A) INCHES	(B) INCHES
DRIVEWAY	7.5"	5"



- NOTES:
 1. SLOPE ALL CONCRETE AS SHOWN ON PLAN
 2. EASE ALL EDGES R=12"
 3. FELT SHALL BE NON-ASPHALTIC IMPREGNATED
 4. SEE LANDSCAPE PLANS FOR COLOR AND FINISH
 5. PCC CONCRETE SHALL BE 520-C-2500.
 6. MEDIUM BROOM FINISH REQUIRED ON WALK SURFACES UP TO 6% SLOPE.
 7. JOINTS AND SUBGRADE COMPACTION PER GEOTECH REPORT.

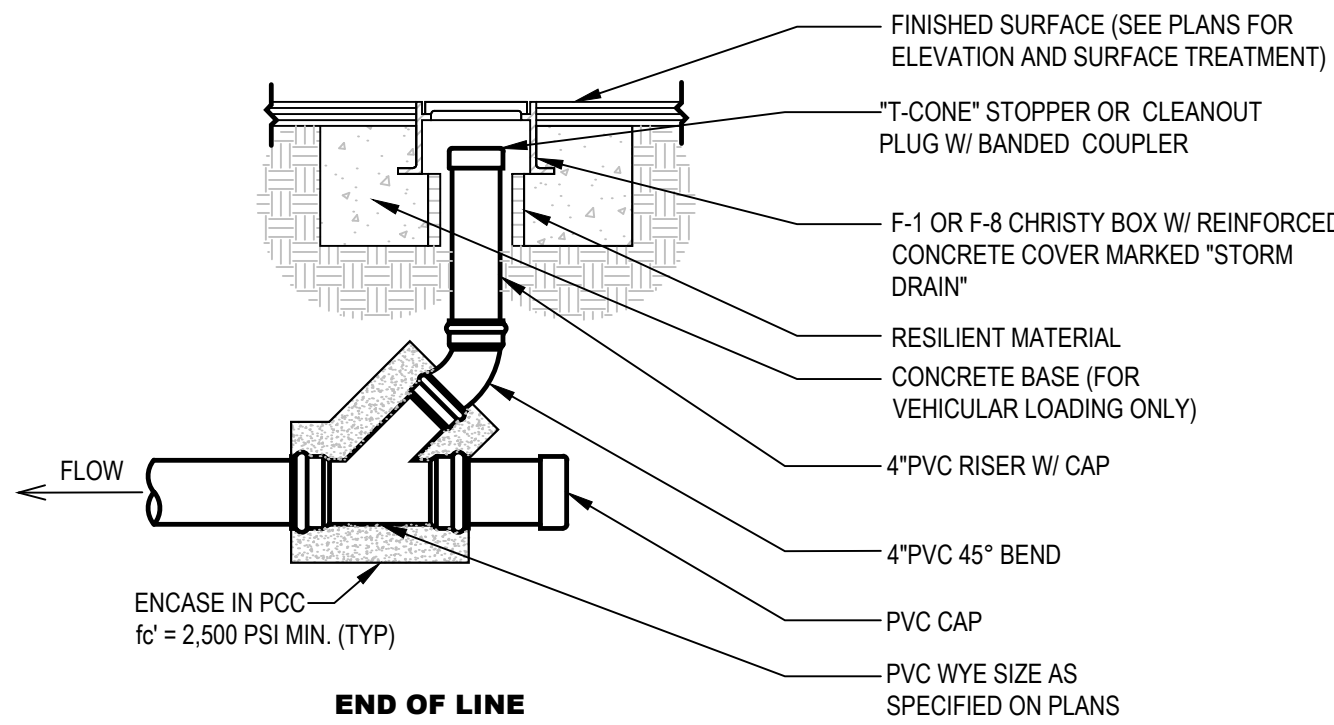
A CONCRETE PAVING DETAIL

NOT TO SCALE

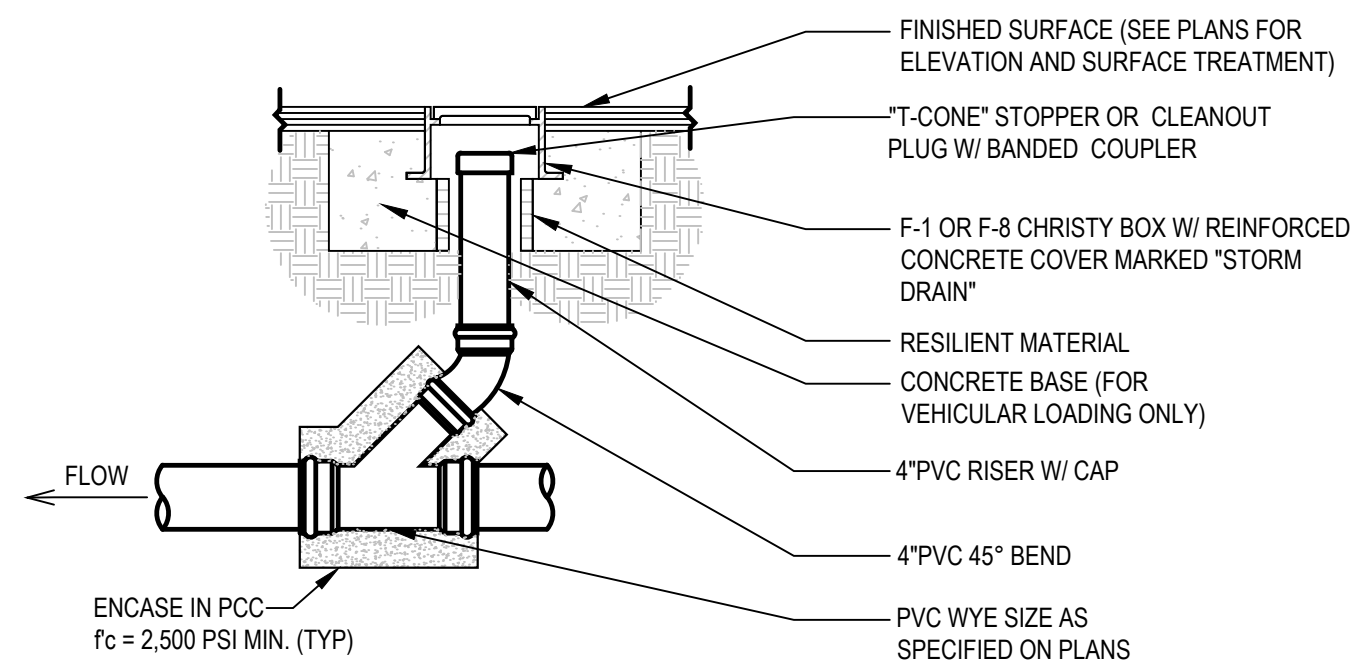


B DOWNSPOUT DETAIL - DAYLIGHT TO GRADE

NOT TO SCALE



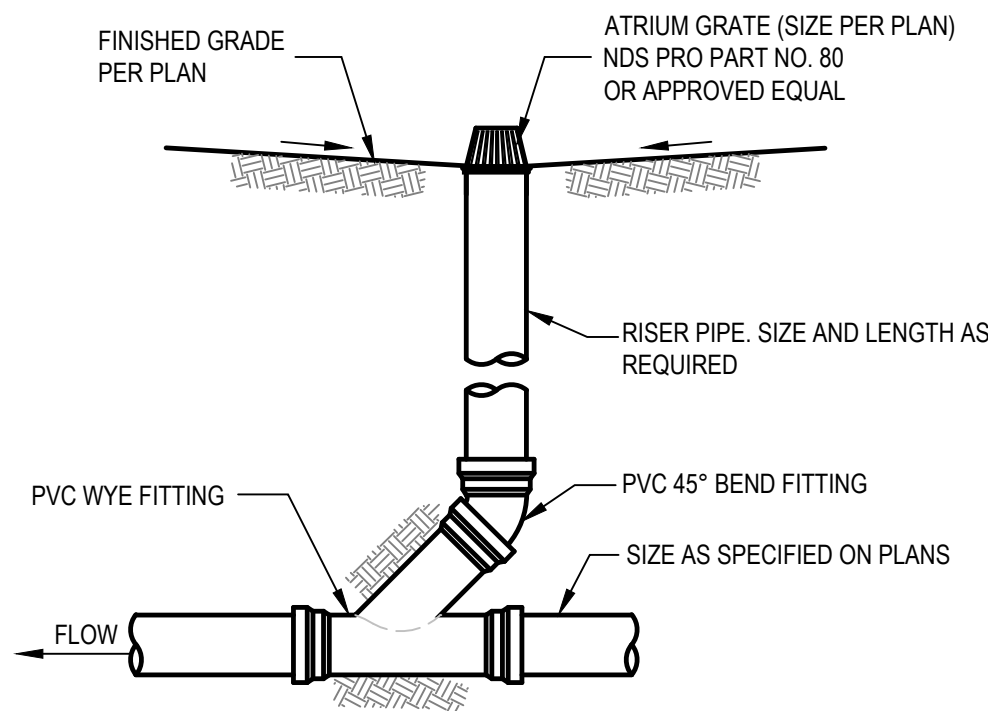
END OF LINE



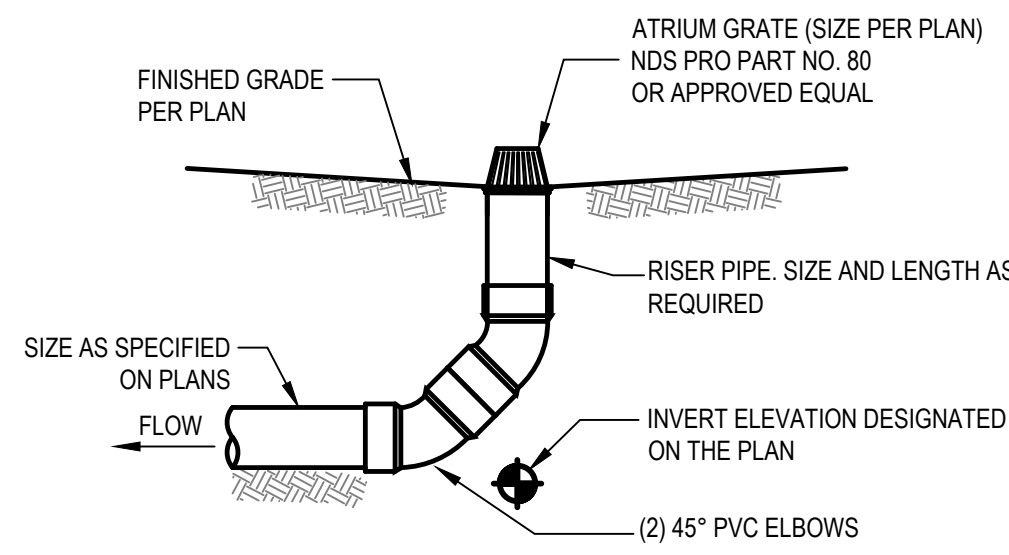
IN-LINE

F STORM DRAIN CLEANOUT DETAIL

NOT TO SCALE



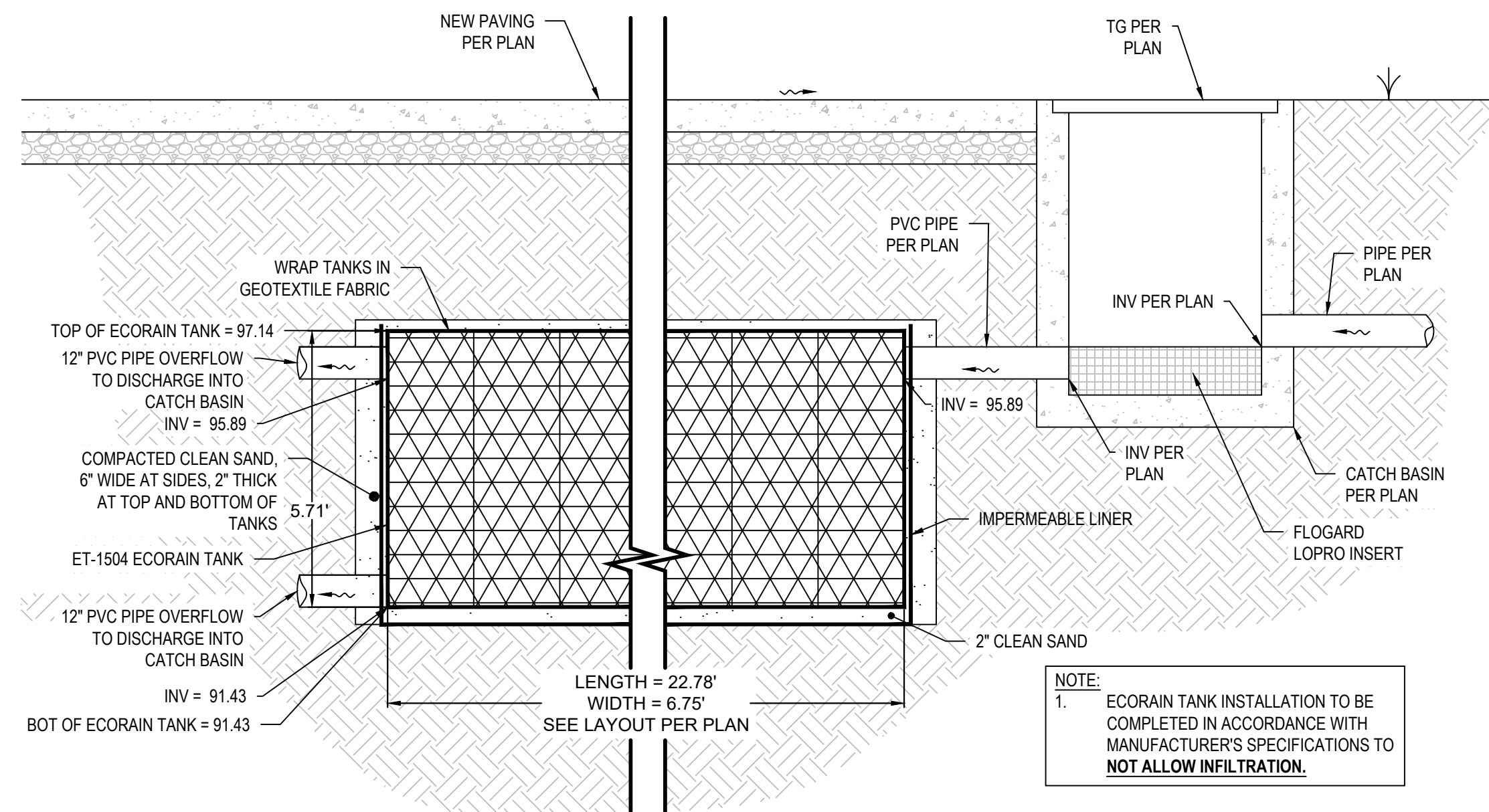
IN-LINE



END OF LINE

C ATRIUM DRAIN DETAIL

NOT TO SCALE



G ECORAIN TANK DETAIL

NOT TO SCALE

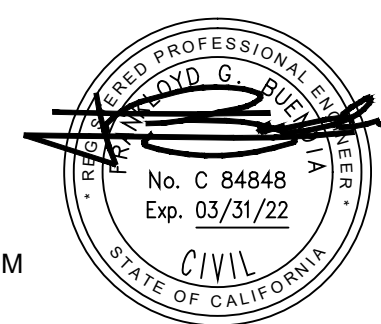
NOTE:
 1. ECORAIN TANK INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO NOT ALLOW INFILTRATION.

CONSTRUCTION AND EXCAVATION PERMIT FROM CITY OF CARSON REQUIRED
 DATE _____
 NO. _____

PREPARED BY:



FGB & ASSOCIATES
 17410 ELAINE AVENUE
 ARTESIA, CA 90701
 TEL: 562.584.1071
 FGBANDASSOCIATES.COM



BENCH MARK:

FD L+P TC
 ASSUMED EL: 100.00'
 SURVEYER INFO:
 PACIFIC LAND CONSULTANTS, INC
 28441 HIGHRIDGE RD. SUITE 230
 ROLLING HILLS ESTATES, CA 90274
 (310) 544-8689

REVIEWED _____ DATE _____

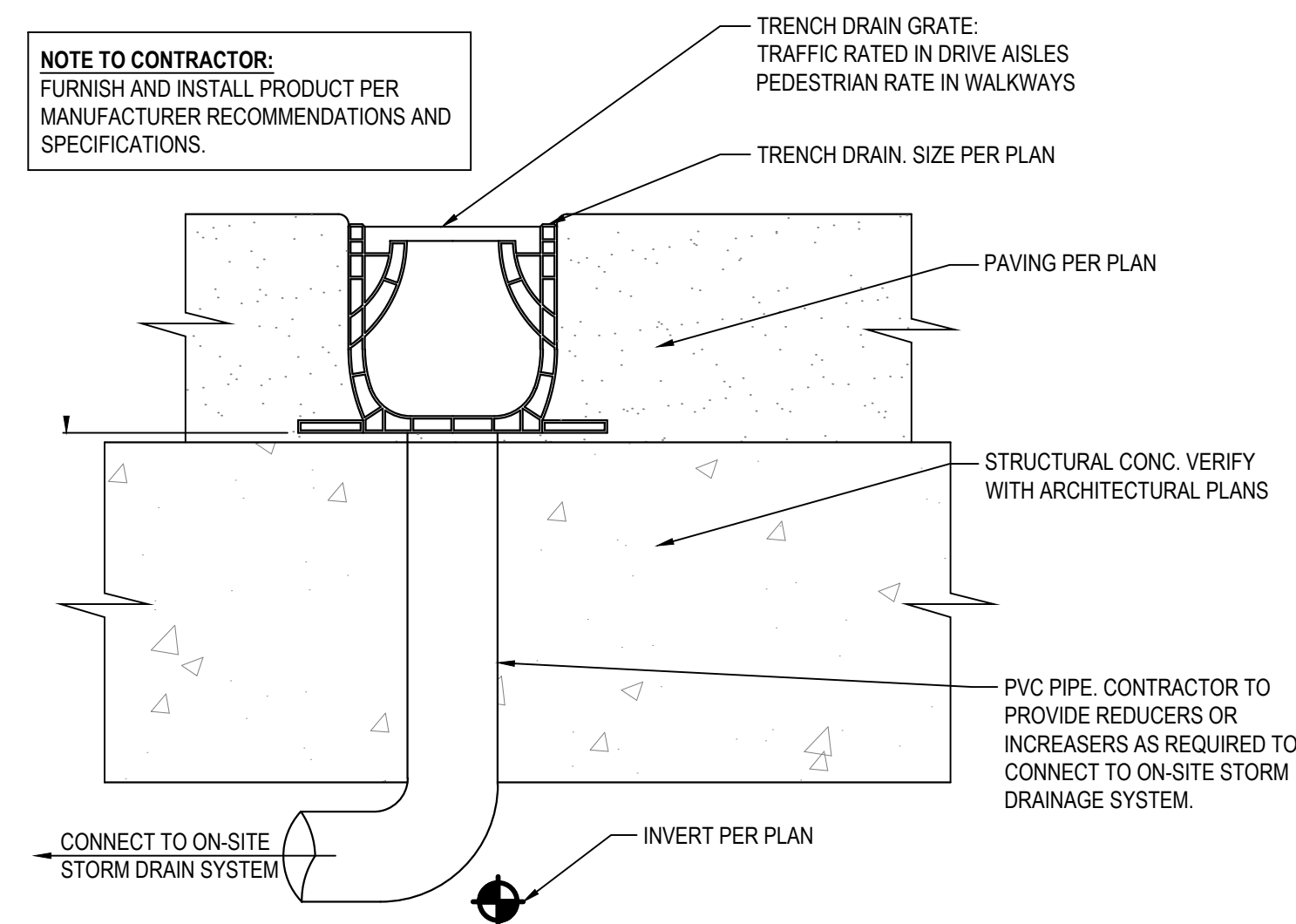
SUBMITTED _____ DATE _____

APPROVED _____ DATE _____

DIVISION ENGINEER _____ DATE _____

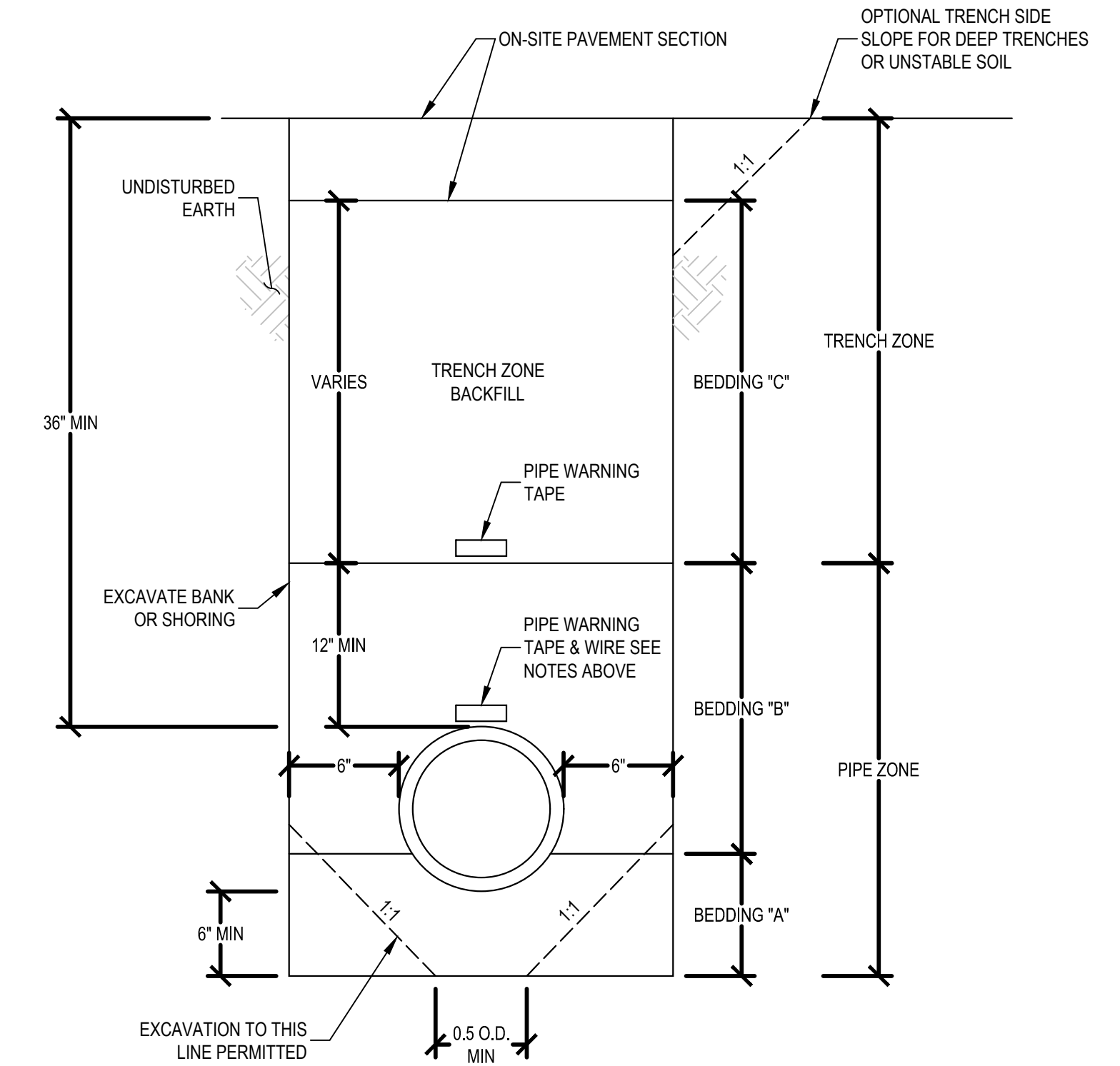
DIRECTOR OF PUBLIC WORKS _____ DATE _____

NOTE TO CONTRACTOR:
 FURNISH AND INSTALL PRODUCT PER MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.



D TRENCH DRAIN BOTTOM OUT DETAIL

NOT TO SCALE



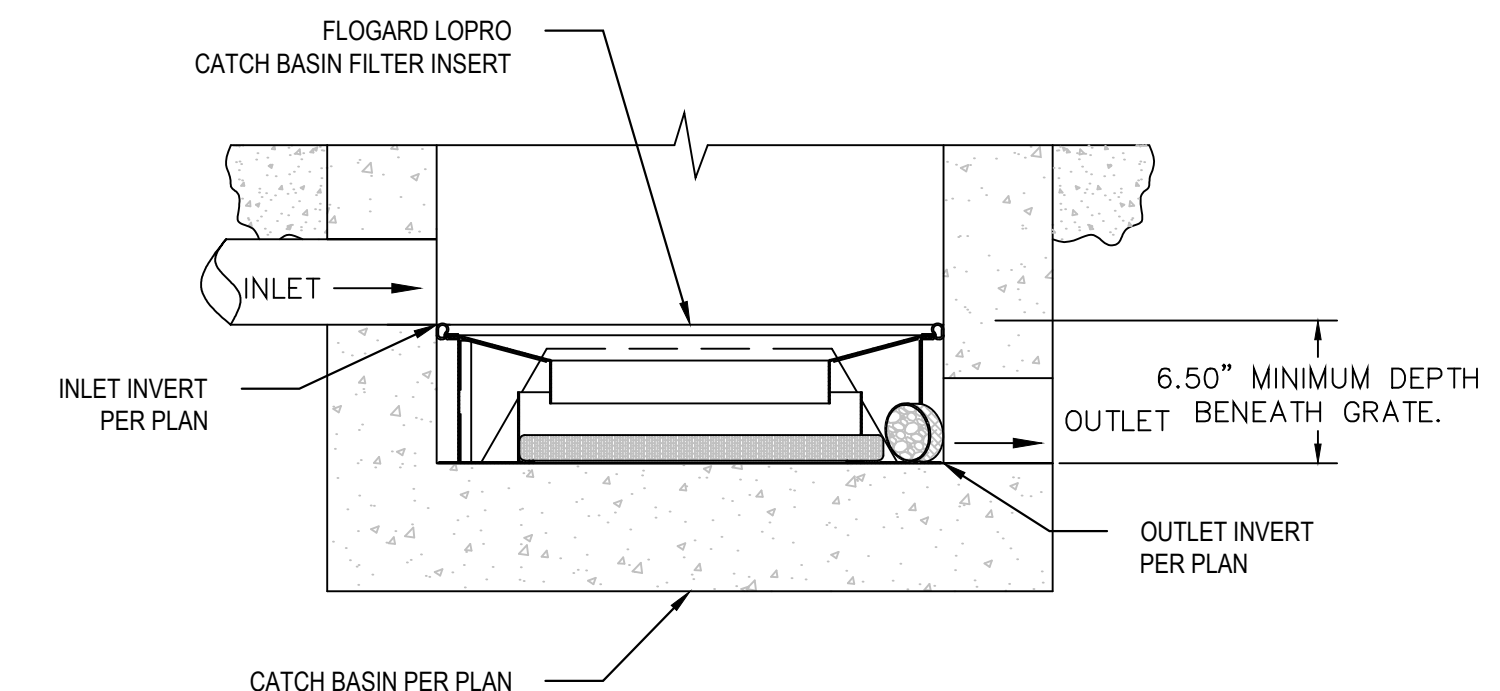
- PIPE TAPE NOTES:
 1. PIPE WARNING TAPE SHALL BE CONTINUALLY INSTALLED ON ALL PIPES.
 2. A METALLIC LINED TAPE SHALL BE SECURELY ATTACHED TO THE PIPE AT 5 FT INTERVALS. PIPE WRAP TAPE SHALL BE WRAPPED AROUND THE ENTIRE CIRCUMFERENCE OF PIPE.
 3. ON-SITE STORM DRAIN SHALL BE GREEN COLOR TAPE STATING "CAUTION STORM DRAIN LINE BELOW"
 4. DOMESTIC WATER PIPE SHALL BE BLUE COLOR TAPE STATING "CAUTION BURIED WATER LINE BELOW"
 5. FIRE WATER PIPE SHALL BE BLUE COLOR TAPE STATING "FIRE WATER"
 6. TRACING WIRE TO BE TAPED TO TOP OF PIPES & LOOPED/SPOOLED AT VALVE CANS FOR WATER & RECLAIMED WATER MAINS.

- BACKFILL SPECIFICATIONS:
 BEDDING "A" = SAND (SAND EQUIVALENT NOT LESS THAN 30)
 BEDDING "B" = SAND OR OTHER GRANULAR MATERIAL (SAND EQUIVALENT OF NOT LESS THAN 30) AND COMPACTED TO NOT LESS THAN 90% RELATIVE COMPACTION.
 BEDDING "C" = NATIVE BACKFILL, MINIMUM RELATIVE COMPACTION OF 90%

NOTE:
 TRENCHING, BEDDING, AND BACKFILL SHALL BE PER GEOTECHNICAL RECOMMENDATIONS.

E UTILITY TRENCHING DETAIL

NOT TO SCALE



H CATCH BASIN FILTER INSERT DETAIL

NOT TO SCALE

REVISIONS			
NO.	APP	DATE	

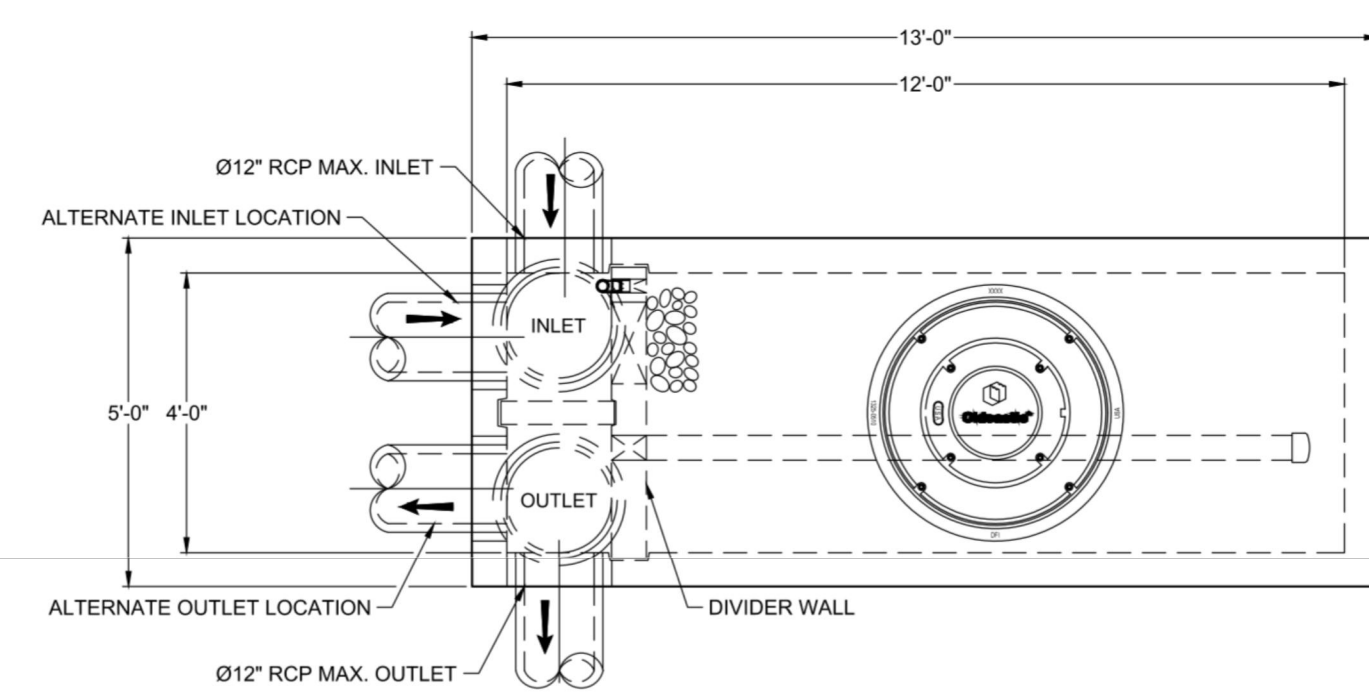
CITY OF CARSON

DEPARTMENT OF PUBLIC WORKS

DETAILS

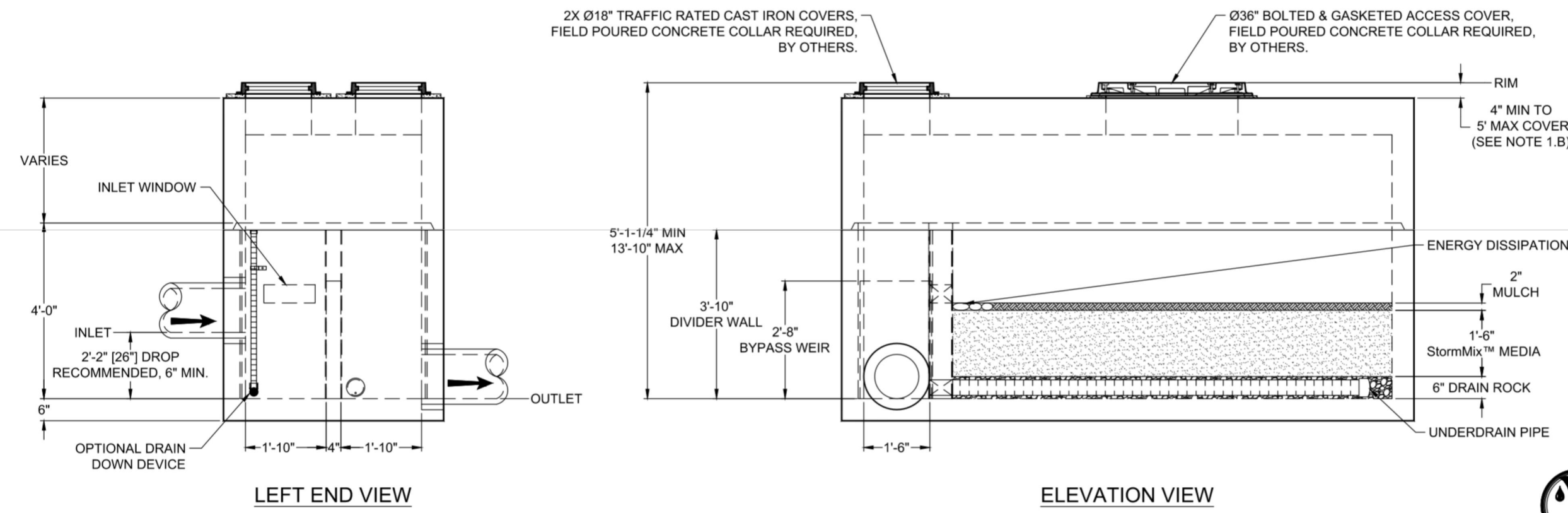
SHT 2 OF 3 SHT PLAN NO.

SITE SPECIFIC DATA				
Structure ID	ID			
Treatment Flow Rate (cfs)	-			
Peak Flow Rate (cfs)	-			
Rim Elevation	-			
Top of Vault Elevation	-			
Pipe Data	Pipe Location	Pipe Size	Pipe Type	Invert Elevation
Inlet	-	-	-	-
Outlet	-	-	-	-
Notes:				
PERFORMANCE SPECIFICATIONS				
Treatment Flow Capacities:				
NJDEP 80% Removal, 75 micron	0.160 cfs			
WA Ecology QULD - Basic, Enhanced & Phosphorus	0.142 cfs			
Bypass Capacity	5.0 cfs			
*Contact Oldcastle for alternative treatment flow capacities.				



PLAN VIEW

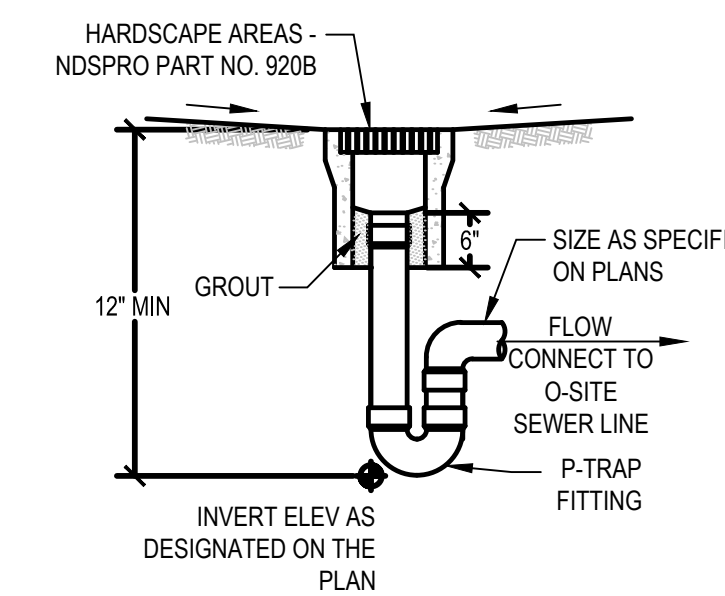
- NOTES**
- DESIGN LOADINGS:
 - ASHTO HS-20-44 (WITH IMPACT)
 - DESIGN SOIL COVER: 2'-0" MAXIMUM
 - ASSUMED WATER TABLE: BELOW BASE OF PRECAST
 - (ENGINEER OF RECORD TO CONFIRM SITE WATER TABLE ELEVATION)
 - LATERAL EARTH PRESSURE: 45 PCF (DRAINED)
 - LATERAL LIVE LOAD SURCHARGE: 80 PSF (APPLIED TO 8'-0" BELOW GRADE)
 - NO LATERAL SURCHARGE FROM ADJACENT BUILDINGS, WALLS, PIER, OR FOUNDATIONS.
 - CONCRETE: 28-DAY MINIMUM COMPRESSIVE STRENGTH: 5,000 PSI MINIMUM
 - REINFORCING: REBAR, ASTM A615A706, GRADE 60
 - CEMENT: ASTM C150
 - REQUIRED ALLOWABLE SOIL BEARING CAPACITY: 2,500 PSF
 - REFERENCE STANDARD:
 - ASTM C900
 - ASTM C913
 - AS 308.14
 - THIS STRUCTURE IS DESIGNED TO THE PARAMETERS NOTED HEREIN. ENGINEER OF RECORD SHALL VERIFY BY THAT NOTED PARAMETERS MEET OR EXCEED PROJECT REQUIREMENTS. IF DESIGN PARAMETERS ARE INCORRECT, REVIEWING ENGINEER/AUTHORITY SHALL NOTIFY OLDCASTLE INFRASTRUCTURE UPON REVIEW.
 - INLET AND OUTLET HOLES WILL BE FACTORY CORECAST PER PLANS AND CUSTOMER REQUIREMENTS. INLET AND OUTLET LOCATIONS CAN BE MIRRORRED.
 - CONTRACTOR RESPONSIBLE TO VERIFY ALL SIZES, LOCATIONS, AND ELEVATIONS OF OPENINGS.
 - CONTRACTOR RESPONSIBLE TO ENSURE ADEQUATE BEARING SURFACE IS PROVIDED (I.E. COMPACTED AND LEVEL PER PROJECT SPECIFICATIONS).
 - SECTION HEIGHTS, SLAB/WALL THICKNESSES, AND KEYWAYS ARE SUBJECT TO CHANGE AS REQUIRED FOR SITE REQUIREMENTS AND/OR DUE TO PRODUCT AVAILABILITY AND PRODUCTION FACILITY CONSTRAINTS.
 - MAXIMUM POCK WEIGHTS:
 - TOP: XXXX LBS
 - BASE: XXXX LBS
 - COMBINED WEIGHT OF BASE INCLUDES BYPASS WEIR, DIVIDER WALL, ROCK & MEDIA
 - INTERNALS SHALL CONSIST OF UNDERDRAIN PIPE, ROCK, STORMIX™ MEDIA, MULCH, DIVIDER WALL, BYPASS WEIR AND OPTIONAL DRAIN DOWN.



A BIPOD DETAIL
NOT TO SCALE

REVIEWED	DATE	SUBMITTED	DATE	APPROVED	DATE
				DIVISION ENGINEER	
				DIRECTOR OF PUBLIC WORKS	

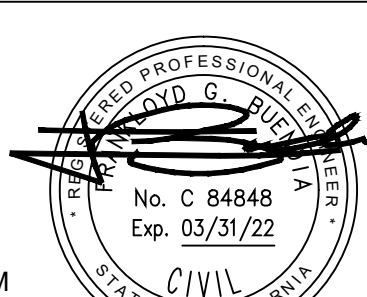
GRATE OPENING NOTICE TO CONTRACTOR:
PER THE 2016 C.B.C. 11B.302.3: OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2 INCH DIAMETER EXCEPT AS ALLOWED IN 2016 C.B.C. SECTIONS 11B-407.4, 3, 11B-409.4.3, 11B-410.4, 11B-910.5.3 AND 11B-910.10. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.



B AREA DRAIN WITH P-TRAP DETAIL
NOT TO SCALE

CONSTRUCTION AND EXCAVATION PERMIT FROM CITY OF CARSON REQUIRED
DATE _____
NO. _____

PREPARED BY:
FG&A ASSOCIATES
17410 ELAINE AVENUE
ARTESIA, CA 90701
TEL: 562.584.1071
FGBANDASSOCIATES.COM



BENCH MARK:
FD L+P TC
ASSUMED EL: 100.00'
SURVEYER INFO:
PACIFIC LAND CONSULTANTS, INC
28441 HIGHRIDGE RD, SUITE 230
ROLLING HILLS ESTATES, CA 90274
(310) 544-8689

REVISIONS			
NO.	APP	DATE	

CITY OF CARSON

DEPARTMENT OF PUBLIC WORKS

DETAILS

SHT 3 OF 3 SHT PLAN NO.